



Remove 07/21/15

Town of New Castle Administration Department
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New Castle, CO 81647 www.newcastlecolorado.org

Agenda
New Castle Historic Preservation Commission
Regular Meeting
July 20, 2015, 6:30 pm, Town Hall

Call to Order
Roll Call
Conflicts of Interest

- 1. Review Minutes from Previous Meetings**
June 15, 2015

Items for Consideration

- 2. Discuss ordinances NO. 2001-5 and NO. 98-6**
- 3. Discuss historical survey of residential buildings**

Citizen Comments on Items NOT on Agenda

- 4. Commission Comments**
- 5. Set Next Meeting**

Adjournment

1 **New Castle Historic Preservation Commission**
2 **Monday, June 15, 2015, 5:30 p.m., Community Center**

3
4 **Call to order**

5 Commission Commissioner Steve Rippy called the meeting to order at 5:30 p.m.

6
7 **Roll Call**

8 Present Commissioner Rippy
9 Commissioner Blaylock
10 Vice Chair Borgard

11
12 Absent Chair Erickson
13 Commissioner Breslin

14
15 Also present at the meeting were Administrative Assistant Ryan Muse, Town
16 Planner Tim Cain, and Assistant Town Attorney Haley Carmer.

17
18 **Conflicts of Interest**

19 There were no conflicts of interest.

20
21 **Review Minutes from Previous Meeting**

22 **MOTION: Commissioner Rippy made a motion to approve the minutes as**
23 **amended. Vice Chair Borgard seconded the motion and it passed**
24 **unanimously.**

25
26 **Commission Comments**

27 There were no commission comments.

28
29
30 **Citizen Comments on Items NOT on Agenda**

31 There were no citizen comments.

32
33 Administrative Assistant Muse requested that agenda item B be discussed first due
34 to Assistant Town Attorney Carmer's limited time. The commission agreed.

35
36 **Text amendment in title 15.44, 17.36, 17.40, & 17.44 relative to procedural**
37 **conflicts and other inconsistencies**

38 Attorney Carmer began by stating that one section of the town code deals with the
39 specifics of building procedures and another code section deals with the Historic
40 Preservation Commissions' interpretation of the building procedures when there is a
41 proposed change to the C-1 district, aka the Downtown district. The vague
42 language in the code sections create a conflict regarding the correct procedure for
43 each section. Code based on specifics has more of an effect on property value, thus
44 it typically trumps the interpretation of the Historical Preservation Commission.
45 Town Planner Tim Cain suggested that the commission consider the code sections
46 and at the next meeting they could discuss possible changes. Commissioner Rippy
47 agreed, stating that he felt the commission was not ready to make any decisions

1 due to the complexity of the issue. He requested that the commission to be
2 provided copies of the code sections. Planner Cain said that he would give the
3 codes to the commission. Commissioner Rippy also requested a memo from
4 Attorney Carmer explaining the conflicting code sections in more detail. The
5 Commission agreed that the code will be discussed again at the next meeting on
6 July 20, 2015.

7
8 **Consider color choice for the Livery Building at 503 W. Main**

9 Planner Cain introduced the Downtown Group to the commission. Patty Ringer said
10 that the Group had presented their color selection to the Town Council and that a
11 few council members voiced their concerns. Planner Cain informed the council that
12 the color choice must be decided by the Historic Preservation Commission.
13 After some discussion and viewing samples, the commission agreed on a color.

14
15 **MOTION: Commissioner Rippy made a motion to approve a new color**
16 **scheme for the Livery Building to be painted. Vice Chair Borgard seconded**
17 **the motion and it passed unanimously.**

18
19 **Discussion: Survey of the Historic Residential Buildings**

20 Administrative Assistant Ryan Muse told the commission that now that they had
21 decided to move forward with a residential historic survey, there was a procedure in
22 the town code that need to be followed. The first step being the initiation process.
23 Commissioner Rippy asked Planner Cain to e-mail the procedure to the commission.
24 Town Planner Cain agreed. Assistant Muse handed out information to the
25 commission regarding available grants and the differences between a
26 comprehensive and an intensive survey. Assistant Muse said that he contacted Tom
27 Simmons, of Front Range Research Associates Inc., and asked for an accurate cost
28 estimate for each type of survey. Mr. Simmons responded with a list of questions
29 that he needed answered in order to give an accurate estimate. Assistant Muse told
30 the commission that he would have the list of questions at the next meeting.
31 Commissioner Rippy felt that the commission should continue to discuss the survey
32 once they have more information. The commission agreed.

33
34
35 **Additional Items**

36 There were no additional items.

37
38
39 **Set Next Meeting**

40 **MOTION: Commissioner Rippy made a motion that the next meeting take**
41 **place on July 20, 2015. The motion was seconded by Vice Chair Borgard**
42 **and it passed unanimously.**

43
44 The meeting adjourned at 6:30 p.m.

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Town of New Castle
Historic Preservation Commission

Commission Chair Virginia Erickson

ATTEST:

Ryan Muse, Administrative Assistant

DRAFT

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July 17, 2015

MEMORANDUM

TO: New Castle Historic Preservation Commission

FROM: Haley M. Carmer, Assistant Town Attorney

RE: Text Amendment Reconciling Conflicting Procedural Provisions

At the Historic Preservation Commission's ("HPC") June 15, 2015 meeting, HPC was made aware of conflicting provisions in the Town of New Castle's ("Town") municipal code regarding review and approval of alterations to historic structures within the Town's C-1 District that do not require a building permit. Specifically, Section 17.36.110 (A)(3) of the Code allows the Town Planner to administratively approve such requests, including color alteration, without consulting HPC. This provision is in conflict with Section 15.44.300, which requires anyone desiring to alter the exterior appearance of a historically-designated structure to receive written approval from HPC before proceeding. In order to reconcile those conflicting provisions, HPC needs to answer the following questions:

1. Should the HPC alterations approval process (15.44.300-340) apply only to structures designated as historic by HPC or should it also apply to entire districts designated as historic either by HPC or by Town Council via the zoning code?
2. Is the C-1 District a HPC-designated historic district or is the historic nature of the C-1 District merely a reflection of the goals of its zoning designation? In other words, do the HPC procedures apply to all properties within C-1 regardless of whether they have been individually designated?

3. Should HPC make final decisions regarding alterations in the C-1 District or is it satisfactory that HPC be consulted prior to Town staff making its decision?

The conflicting provisions only seem to be a problem in the C-1 District because there is no other district in the Town that is arguably a historic district. Under the current code structure, it is the opinion of the Town Attorney that the town planner has the ultimate approval power with respect to alterations to properties in the C-1 District that do not require a building permit. The benefit of this structure is that residents only have to wait seven days for a decision on their application. If HPC becomes the deciding agency instead of the town planner, applicants will be at the mercy of HPC's meeting schedule for decisions on their applications. For example, if an applicant submits her application to HPC two days after an HPC meeting, she will have to wait another month for a decision.

Depending on HPC's answers to the foregoing questions, a text amendment to the Town code could take the following forms:

1. Amend sections 15.44.300-340 to provide that section 17.36 controls with respect to alterations in the C-1 District that do not require a building permit, amend 17.36 to require the Town planner to consult with HPC before approving an application, and provide for alternative means of receiving HPC recommendations;
2. Amend section 17.36 to provide that sections 15.44.300-340 control for any building in the C-1 District; or
3. Amend section 17.36 to provide that sections 15.44.300-340 control only with respect to those structures specifically designated by HPC as historic and that are located within the C-1 District.

Once HPC provides its opinion on the issues presented in this memorandum, we will use the feedback to craft a code amendment and present the amendment to the Town Council. We would recommend that HPC members be present at the council meeting at which the issue is ultimately presented. If the HPC has additional comments or questions, please let us know.

**TOWN OF NEW CASTLE, COLORADO
ORDINANCE NO. 98-6**

**AN ORDINANCE OF THE TOWN OF NEW CASTLE, COLORADO,
ESTABLISHING A HISTORIC PRESERVATION COMMISSION AND
ADOPTING STANDARDS AND PROCEDURES FOR THE DESIGNATION
AND REGISTRATION OF HISTORIC SITES, LANDMARKS AND
DISTRICTS.**

WHEREAS, the Historic Preservation Committee, appointed by the Town Board of the Town of New Castle, has recommended that the Town of New Castle Municipal Code be amended to include a title establishing a historic preservation commission and adopting standards for the designation and registration of historic sites, landmarks and districts; and

WHEREAS, the Town of New Castle Board of Trustees finds and determines that it is in the public interest to amend the Municipal Code to create a historic preservation commission and to adopt a procedure for historic preservation.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF NEW CASTLE, COLORADO, THAT:

Section 1. The following Title 18 of the New Castle Municipal Code is hereby enacted. All ordinances or parts of ordinances in conflict herewith are hereby expressly repealed.

**Title 18
Historic Preservation**

Sections:

18-01	Purpose
18-02	Definitions
18-03	Declaration of Policy
18-04	Scope
18-05	Standards for Designation of Sites, Landmarks and Districts for Preservation
18-06	Historic Preservation Commission
18-07	Identification of Historic Resources and Properties
18-08	Designation Procedure
18-09	Construction, Alteration, Demolition and Relocation of or Within a Designated Historic Site, Landmark or District
18-10	Adoption of Standards for Rehabilitating Historic Buildings
18-11	Severability

Chapter 18-01
Purpose

18-01-010 The purpose of this Ordinance is to enhance the Town's local historic resources and to promote the public health, safety, prosperity and welfare through:

(A) The protection and preservation of the Town's architectural, historic and cultural heritage, as embodied in designated historic sites, landmarks and districts by appropriate regulations and incentives.

(B) The establishment of a Town Register listing designated sites, landmarks and districts.

(C) The establishment of a historic preservation commission which shall have primary responsibility for matters of historic preservation within the Town, as set forth in this Ordinance.

Chapter 18-02
Definitions

The following words, terms and phrases, when used in this Chapter, shall have the meanings ascribed to them in this Section:

18-02-010 *Alteration* shall mean any act or process which changes one (1) or more of the exterior architectural features of a designated historic structure or site.

18-02-020 *Board, or Town Board* shall mean the Board of Trustees of the Town of New Castle, Colorado.

18-02-030 *Certificate of Approval* shall mean a certificate issued by the Commission, or in the event of appeal the Board, to indicate its approval of a Building Permit, Moving Permit, Demolition Permit, or Sign Permit to authorize the construction, alteration or demolition of property and improvements designated as a historic site, landmark or located within a designated district under this ordinance; a certification that proposed work is appropriate.

18-02-040 *Commission* shall mean the Historic Preservation Commission created in Chapter 18-06 of the Town of New Castle Municipal Code.

18-02-050 *Construction* shall mean the installation of any on-site improvements on any parcel of ground located on a designated historic site, whether the site is presently improved or unimproved, or the erection of a new principal or accessory structure on such property.

18-02-060 *Demolition* shall mean any act or process that destroys in part or in whole a landmark or a structure upon a designated historic site.

18-02-070 *Designation* shall mean the identification and approval by Resolution by the Commission of a historic site, landmark or district.

18-02-080 *Exterior architectural feature* shall mean the architectural design, style, general arrangement and components of all the outer surfaces of a structure or improvement including but not limited to the color, texture, materials, type and style of all windows, doors, lights, signs and other fixtures appurtenant to said structure or improvement.

18-02-090 *Historic site, landmark or district* shall mean any site, structure, object or improvement and its surrounding environs or a group of structures, objects or improvements and their surrounding environs:

(A) Which has a special character or special historic or aesthetic interest or value as part of the development, heritage or cultural characteristics of the Town, state or nation;

(B) Wherein any event of major historic significance with a measurable effect upon society took place;

(C) Which is closely identified with a person or group of persons who have had some measurable influence on society;

(D) Wherein the broad cultural, political, economic or social heritage of the community is exemplified;

(E) Which faithfully portrays the environment of a group of people in an era of history characterized by a distinctive architectural-type specimen or which is the work of an architect or master builder whose individual work has influenced the development of the Town;

(F) Which, because of being a part of or related to a square, park or other distinctive area, should be developed or preserved based upon historic, cultural or architectural significance;

(G) Which, due to unique location or singular physical characteristic, represents an established, familiar and significant visual feature of the neighborhood, community or Town; or

(H) Which has been officially designated as a historic site, landmark or district pursuant to the provisions of this Chapter.

18-02-100 *Historic Property or Resource* shall mean the resources of this Town, both public and private, including buildings, homes, replicas, structures, objects, properties, parks, and sites, that have importance in the history, architecture, archeology, or culture of this Town, state or nation, as determined by the Commission.

18-02-110 *Improvement* shall mean any building, structure, place, work of art or other object constituting a physical betterment of real property or any part of such betterment, including improvements on public property.

18-02-120 *Landmark* shall mean an individual structure or other physical feature or an integrated group of structures and physical features on a single lot or site having special architectural value.

18-02-130 *Owner* shall mean any person or persons having such right to title to, or interest in, any improvement so as to be legally entitled, upon obtaining the required permits and approvals from the Town agencies having jurisdiction over building construction, to perform with respect to such property any construction, alteration, relocation, demolition or other work as to which such person seeks the authorization or approval of the Historic Preservation Commission, the Town Administrator, or the Town Board of Trustees.

18-02-140 *Permit* shall mean any permit issued by the Town pursuant to this Chapter pertaining to construction, alteration, removal or demolition of a building or feature within a designated historic site, landmark or district.

18-02-150 *Preservation Survey and Plan* shall mean an organized purpose and plan document or documents setting forth properties in the Town in which the Commission has an interest, consistent with its stated purpose, in placing on the local Register and setting forth guidelines, including design guidelines, for preservation of historic resources.

18-02-160 *Reasonable use* shall mean taking into consideration the standards for designation for historic preservation and determining the use to be just, proper, fit and appropriate to the end in view, not immoderate or excessive, but being fair and suitable.

18-02-170 *Register* means a maintained list of properties by the Commission, each of which has been designated as a historic site, landmark or district.

18-02-180 *Relocation* shall mean moving an historic structure or object any distance.

18-02-190 *Repair and Maintenance* shall mean work done on a structure, landmark or object in order to correct any deterioration, decay or damage to any part thereof in order to restore the same as nearly as practical to its condition prior to such deterioration, decay or damage.

18-02-200 *Replica* shall mean any reconstruction or re-creation of any building, structure, landmark or other resource deemed to be of historic importance by the Commission.

18-02-210 *Secretary of the Interior Standards* means a document which was originally published in 1977 and revised in 1990. The Secretary of the Interior's Standards for Historic

Preservation Projects appear in Title 36 of the Code of Federal Regulations, Part 68, which governs alterations to buildings listed in the National Register of Historic Places. The standards, which pertain to the exterior and interior of historic buildings, deal with design, methods of construction, and materials.

18-02-220 *Streetscaping* shall mean rehabilitation, preservation or beautification of those exterior elements of a historic site, landmark or district, including but not limited to exterior architectural features, which are visible from a street.

18-02-230 *Structure* shall mean that which is built or constructed, an edifice or building of any kind or any piece of work artificially built or composed of parts joined together in some definite manner.

18-02-240 *Unreasonable Economic Hardship* shall mean severe economic impact to the property as determined on a case by case basis.

18-02-250 *Working day* shall mean any day during which the Town Building Permit and Inspection Department is open for regular business.

Chapter 18-03 Declaration of Policy

18-03-010 It is hereby declared as a matter of public policy that the protection, enhancement and perpetuation of sites, landmarks, and districts of historical, architectural or geographic significance, located within the Town are a public necessity and are required in the interest of the prosperity, civic pride and general welfare of the people.

It is the opinion of the Town Board of Trustees that the economic, cultural and aesthetic standing of this Town cannot be maintained or enhanced by disregarding the historical, architectural and geographical heritage of the Town and by ignoring the destruction or defacement of such cultural assets.

Chapter 18-04 Scope

18-04-010 This Ordinance is intended to:

(A) Identify, enhance, preserve, protect, designate and perpetuate those historic sites, landmarks, and districts which reflect outstanding elements of the Town's cultural, social, ethnic, political, artistic, economic, architectural, historic, technological, institutional, or other heritage;

(B) Promote the enjoyment of the uses, designs, operations and functions of structures and sites in the districts;

(C) Promote private and government participation while seeking incentives for the preservation, utilization and enjoyment of New Castle's unique historic character;

(D) Create the Town Historic Preservation Commission to designate historic preservation districts, landmarks and sites, and to approve or deny any proposed demolition of, relocation of or alteration to properties of historic value.

This Ordinance is not intended to preserve every older building in the Town, but rather is intended to provide a process to evaluate and protect only those sites, landmarks, and districts deemed to have historical, architectural or archaeological significance.

Chapter 18-05
Standards for Designation of Sites, Landmarks
and Districts for Preservation

18-05-010 Designation. A site, landmark or district may be designated pursuant to this Ordinance for preservation if it meets one (1) or more of the following criteria:

(A) ***Historical importance.*** The site, landmark or district has character, interest or value as part of the development, heritage or cultural characteristics of the Town, state or nation; is the site of a historic event with an effect upon society; is identified with a person or group of persons who had some influence on society; or exemplifies the cultural, political, economic, social or historic heritage of the community.

(B) ***Architectural importance.*** The site, landmark or district portrays the environment of a group of people in an era of history characterized by a distinctive architectural scale; embodies those distinguishing characteristics of an architectural-type specimen; is the work of an architect or master builder whose individual work has influenced the development of the Town or contains elements of architectural design, detail, materials or craftsmanship which represent a significant innovation.

(C) ***Geographic Importance.*** The site, landmark or district, because of being part of or related to a square, park or other distinctive area (*i.e.*: river crossings), should be developed or preserved according to a plan based on a historic, cultural or architectural motif or due to its unique location or singular physical characteristics, represents an established and familiar visual feature of the neighborhood, community or Town.

(D) ***Inclusion in National Register of Historic Places.*** Inclusion of any property within the Town in the National Register of Historic Places as provided in the National Historic

Preservation Act of 1966 shall be construed as local historic site designation, and subject to the same protections as any local historic site.

Chapter 18-06
Historic Preservation Commission

18-06-010 Commission Established. There is hereby created a Historic Preservation Commission, hereinafter in this Ordinance referred to as the "Commission," which shall have principal responsibility for matters of historic preservation as set forth in this Ordinance.

(A) **Membership.** The Commission shall consist of seven (7) members, providing a balance of interests and skills. One (1) member shall be a standing member of the Town Board; one (1) member shall be a standing member of the Town Planning Commission; one (1) member shall be a standing member of the New Castle Historical Society; provided, however, that such standing members are available and willing to serve on the Commission; otherwise, alternate members shall be appointed by the Town Board. Four (4) members shall be residents of the Town. Three (3) members may reside outside of the Town limits. Three (3) members shall be professionals or shall have extensive expertise in a preservation-related discipline including but not limited to history, architecture, planning, or archaeology, providing however, that such professionals or persons with expertise are available to the Town and are willing to serve on the Commission.

(B) **Appointments and terms of office.** Members of the Commission shall be appointed by the Town Board of Trustees and shall serve three(3)-year staggered terms from the date of appointment. In order to stagger the initial terms of membership, the original membership shall serve as follows:

- (1) two (2) appointees shall serve a one (1)-year term;
- (2) two (2) appointees shall serve a two (2)-year term; and
- (3) three (3) appointees shall serve three (3)-year terms.

Members may continue to serve until their successors have been appointed. The Town Board member shall serve until the end of that member's appointed term or until a successor is appointed, or until that member is no longer on the Town Board, whichever first occurs. Members may be appointed to serve successive terms, without limitation. Appointments to fill the unexpired term for any vacancy on the Commission shall be made by the Town Board of Trustees. All members of the Commission shall serve without compensation except for such amounts determined appropriate by the Town Board of Trustees to offset expenses incurred in the performance of their duties. Members of the Commission may be removed by the Town Board of Trustees for neglect of duty or malfeasance in office.

(C) **Quorum and voting.** A quorum for the Commission shall consist of four members. A quorum is necessary for the Commission to hold a public hearing or to take official

action, A roll call vote shall be taken upon the request of any member, and an affirmative vote by a majority of those present shall be required for a motion to pass. A failed motion or a tie vote shall be deemed no action by the Commission and a subsequent motion must be voted upon.

(D) **Officers.** The Commission shall, by majority vote, elect one (1) of its members to serve as chairperson to preside over the Commission's meetings and one (1) member to serve as vice-chairperson. The members so designated shall serve in these capacities for terms of one (1) year, or until their successor is appointed, and may serve successive terms.

(E) **Meetings.** The Commission shall hold at least one regularly scheduled meeting a month. Minutes shall be kept of all Commission proceedings. All meetings shall be open to the public except as authorized by state law or Town ordinances.

(F) **Powers and duties.** The Historic Preservation Commission shall:

- (1) Adopt written criteria for review of historic resources and for review of applications to alter, demolish, or relocate designated resources for Certificates of Approval.
- (2) Review proposals nominated for designation as a historic site, landmark or district and designate by resolution those resources which qualify by meeting the adopted criteria.
- (3) Review and make decisions on any application for alterations to a designated historic site, landmark or district.
- (4) Review and make decisions on any application for relocating or demolishing a designated historic landmark or any structure located within a designated site or district.
- (5) Advise and assist owners of historic properties on physical and financial aspects of preservation, renovation, rehabilitation, and reuse, including nomination to the National Register of Historic Places.
- (6) Remove properties from the Register for reasons the Commission deems appropriate, including, but not limited to, acts of God.
- (7) Develop and assist in public education programs including but not limited to walking tours, brochures, a marker program for historic properties, lectures, and conferences.

- (8) Cause to be issued by the appropriate Town department such municipal citations as are appropriate for enforcement of this Ordinance.
- (9) Coordinate with and inform other Town, local and State offices of proposed and completed efforts and actions of the Commission.
- (10) Conduct preservation surveys and plans for the purpose of determining and defining areas of historic significance.
- (11) Advise the Town Board of Trustees on matters related to preserving the historic character of the Town.
- (12) Actively pursue financial assistance for preservation related programs and make recommendations regarding requests by owners for financial assistance.

(G) ***Rules and procedures for the Commission.*** The Historic Preservation Commission shall conduct its proceedings in accordance with the latest current edition of Robert's Rules of Order. In addition, the Commission may establish additional rules of operation that are consistent with this Ordinance.

(H) ***Recordkeeping and staff assistance for the Commission.*** To the extent provided by the Town Board, the Town Administrator/Clerk shall maintain the records of and provide administrative assistance to the Commission, and shall serve as Recording Secretary.

Chapter 18-07 Identification of Historic Resources and Properties

18-07-010 Study and Review of Resources. The Commission shall identify, within the means provided for such purposes, certain Historic Resources and Properties as potentially worthy of appropriate study, review and potential designation. Recommendations from citizens of the Town regarding historic resources shall be sought by the Commission. The Commission shall include in its initial study and review the areas of the Town known as "Original Town," "Coryell Town," the "Spencer's Additions," the "Coryell Additions," the "Gordon Subdivision," and the "Smith Subdivision," and all revisions to each of them.

18-07-020 Criteria for Identification. An area or property may be identified as a Historic Resource or Property if it is declared to possess (or to potentially possess) any of the following qualities or characteristics:

- (A) Has existed prior to the year 1940;

- (B) Is associated with events that have made a significant contribution to the broad patterns of the Town's history;
- (C) Is associated with the lives of persons significant in the Town's past;
- (D) It embodies the distinctive characteristics of a type, period, or method of construction, is the work of a master builder, or possesses high artistic value;
- (E) It has yielded, or may be likely to yield, information important in prehistory or history;
- (F) It exemplifies the cultural, economic, social, or historic heritage of the Town;
- (G) Has relationship to other distinctive areas that are eligible for preservation according to a plan based on a historic, cultural, or architectural motif;
- (H) Unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood, community, or the Town.

Chapter 18-08 Designation Procedure

18-08-010 Initiation of Procedure. Whenever in the opinion of the Historic Preservation Commission, whether based upon its own motion or upon its motion following receipt of a factually-supported written recommendation presented by any citizen of the Town, the Planning and Zoning Commission, or the Town Board, any site, area, neighborhood, structure, object or property meets the criteria of a historic site, landmark or district, the Commission shall contact the owner or owners of such property outlining the reasons and effects of designation and shall attempt to secure the owner's consent to such designation. If the Commission is unable to personally contact such owner, it shall be sufficient for the Town Clerk to send a written request for the consent to designation of such property by certified mail, return receipt requested, addressed to the owner of the property as shown on the most recent records of the County Assessor at the address shown on such records. Individual properties may be designated as a historic site, landmark or district, only with and by written consent of all of the property owners.

18-08-020 Commission Review With Owner's Consent. If the owner consents in writing to the proposed designation of the property as a historic site, landmark or district, the Commission, upon the affirmative vote of a majority of the members present, may adopt an Order scheduling a public hearing by the Commission on the question of designation, hereinafter called a Designation Hearing, at a specified time, date and place and directing that the notice of hearing be given as described in Section 18-08-030 of this Ordinance.

All applications submitted in accordance with this Section 18-08 shall include a description of the property proposed for designation and a detailed outline of the reasons why such property should be designated and why the boundaries of the designation should be determined as described in the application.

No motion or application for designation of a specific historic site, landmark or district may be made more than once during any six (6) consecutive months, unless ownership changes.

18-08-030 Notice of hearing. Notice of a Designation Hearing shall be given as follows:

(A) Written notice of the time, date, place and subject of the hearing shall be sent by registered or certified mail, return receipt requested, not less than thirty (30) days prior to the hearing to all owners of record, as are found in the records of the County Assessor on the date of the application, who own the real property being proposed for designation as a historic site or historic district, and to the owners of real properties within one hundred (100) feet of the property being proposed for designation. Such notice shall be deemed delivered upon the passage of five (5) days from the deposit of the notice in the U. S. mail system.

(B) A legal notice indicating the nature of the hearings, the property involved and the time, date and place of the hearing, shall be published in a local newspaper of general circulation one (1) time at least fifteen (15) days prior to the hearing.

(C) Written notice of the proposed historic designation, including the identification of the property, the basis for commencing with the designation procedure and the time, date, and place of the hearing, may be given to any other individual, office or agency as deemed appropriate by the Commission, for information, comments and recommendations prior to the hearing.

18-08-040 Interim Status, Permit Review. Any application which has been submitted to the Town Building Department, on or after the date of a motion passed by the Commission pursuant to Section 18-08-010, for a building permit for alteration, construction, relocation or demolition of a site or landmark under consideration for historic designation or any site, landmark, structure or object within any proposed district under consideration for historic district designation shall be deferred from issuance until final disposition by the Commission of the historic designation application unless such alteration, construction, relocation or demolition is deemed necessary under Section 18-09-060 for the public health, welfare or safety. The delay in issuance of a building permit due to the provisions of this Section shall not be for more than sixty (60) days.

18-08-050 Hearing.

(A) At least four (4) members of the Historic Preservation Commission shall conduct the hearing. If at least four (4) members are not present the members present may adjourn the meeting to another date within two (2) weeks. If any hearing is continued, the time, date and place of the continuation shall be established and announced to those present when the current session is to be adjourned. Such information shall be promptly forwarded, by regular mail, to the owners of record as established and addressed pursuant to Section 18-08-030 of this Ordinance.

(B) Reasonable opportunity shall be provided for all interested parties to express their opinions regarding the proposed designation. However, nothing contained herein shall be construed to prevent the Historic Preservation Commission from establishing reasonable rules to govern the proceedings of the hearings or from establishing reasonable limits on the length of individual presentations. The hearings shall be recorded, minutes written by staff, and provided to each member of the Historic Preservation Commission. Written presentations shall be included in the record of the hearing.

18-08-060 Findings, Conclusions and Decisions of the Commission. The Historic Preservation Commission shall act officially on each proposed designation within twenty-five (25) working days of the conclusion of the hearing. The Commission may approve, reject or approve modifications to any proposal. No decision may deny the owner a reasonable use of his property as otherwise allowed by applicable law.

If more than one (1) property is involved in the designation procedure, the Historic Preservation Commission may approve in part and deny in part. Each part shall then be treated as a separate action. In no event may any property be added to the area described in the initial application without instituting a new designation procedure. The findings, conclusions and decision of the Commission regarding a designation shall be in the form of a written resolution and shall be final and may not be appealed.

The Commission shall set forth in its records the findings of fact and conclusions which constitute the basis for its decision. Each such designating resolution shall include a description of the characteristics or features of the site, landmark or district which should be preserved, and shall include a legal description of the location and boundaries of the site, landmark or district. The property included in any such designation shall be subject to the controls and standards as set forth herein and shall be eligible for such incentive programs as may be developed by the Commission. If the Commission fails to act within twenty-five (25) day period, the designation shall be deemed to have been rejected and the designation procedure of the Commission shall thereby be terminated.

18-08-070 Transmittal to Town Board of Trustees. Within fifteen (15) days after reaching its decision, the Historic Preservation Commission shall transmit to the Town Board of Trustees and the owner of the property for information purposes only, its findings, conclusions and written resolution setting forth its decision on the Designation of a historic site,

landmark or district, including the description of the property involved and the findings upon which the resolution was based. The decision shall be effective upon transmittal by the Commission to the Board.

18-08-080 Filing with Town Clerk. Within fifteen (15) days of the effective date of a resolution designating property as a historic site, landmark or district, it shall be entered by the Town Clerk into the official records of the Town and into the real estate records of the Garfield County Clerk and Recorder as either:

(A) A certified copy of the resolution designating the specified property as a historic site, landmark or district; and listing the individual properties included therein;

(B) A notice stating that the specified property has been designated as a historic site, landmark or district and citing the Historic Preservation Commission's resolution and the effective date thereof. The notice may also contain a brief summary of the effects of such designation as set forth in this Ordinance.

18-08-090 Final Notification to Owner. Within ten (10) days after the recording of the resolution designating property as a historic site, landmark or district, the Town Administrator/Clerk shall send to the owner of each property so designated by registered or certified mail a letter outlining the reasons for such designation and the obligations and restrictions created by such designation. Such letter shall also contain a request that the owner or his or her successors or assigns notify the Town Administrator/Clerk prior to:

(A) Preparation of plans for the reconstruction or alteration of the exterior of improvements located on such property;

(B) Preparation of plans for the construction, alteration, relocation or demolition of improvements on such property.

18-08-100 Register of Designated Historic Sites, Landmarks and Districts Established. The Commission shall establish and maintain an official Register of historic sites, landmarks and districts designated by the Commission as worthy of preservation or restoration pursuant to this Chapter. Such Register shall include the location, owner, description and historic significance of the resource. Such Register may have information added, corrected, revised or deleted from time to time as shall be determined by the Commission.

18-08-110 Amendment or Rescission of Designation. A historic site, landmark or district designation may be amended or rescinded in the same manner as the original designation was made with owner(s) consent.

18-08-120 Additional Staff and Assistance. As may be provided by the Town Board, the Commission and the Town Board may obtain assistance of competent technical experts in areas necessary to render decisions. The Town may require applicants to defray portions or all of the costs for such assistance.

Chapter 18-09
Construction, Alteration, Demolition and Relocation of or
Within a Designated Historic Site, Landmark or District

18-09-010 Work Requiring Building Permit.

(A) Action on an application for a building permit, as additionally provided for in other Codes of the Town, including any permit for the demolition of a building shall be deferred by the Building Inspector, except as provided in Section 18-09-060 hereof, until the application is accompanied by a Certificate of Approval from the Historic Preservation Commission for the proposed work when the proposed work involves any of the following:

- (1) Alteration or reconstruction of or addition to the exterior of any improvement which constitutes all or part of a historic site or landmark;
- (2) Demolition or relocation of any improvement or object which constitutes all or part of a historic site or landmark;
- (3) Construction or installation of or addition to any improvement upon any land included on a historic site or landmark.

(B) In order to obtain a Certificate of Approval, the applicant shall submit to the Commission through the Building Inspector, the application for a building permit including sketches, plans and other requirements as determined by the Commission, for review. All such applications shall be reviewed by the Commission to determine compliance with this Ordinance as prescribed in the following Sections.

18-09-020 Work for Which a Building Permit is Otherwise not Required; Application for Approval.

(A) Except as otherwise provided herein, no land surface within any real property designated as a historic site, landmark or district shall be changed, and no improvements shall be installed, removed, restored, demolished or altered including alteration of color only, without prior written approval of the Historic Preservation Commission. No addition shall be made to any real property designated as a historic site, landmark or district in such a manner or of such a character as to change the exterior appearance or exterior architectural features which change shall be visible from any public street, park or other public place, without prior written approval of the Commission.

(B) Any person desiring to remove, demolish or change the exterior appearance or the exterior architectural features of improvements on real property designated as a historic site, landmark or district or desiring to change the land surface of any such real property, shall submit to the Historic Preservation Commission an application for approval and a specific statement of the work proposed, together with such details as the Commission may require.

18-09-030 Approval of proposed work.

(A) If upon receipt of an application for a building permit pursuant to Section 18-09-010 hereof, or upon receipt of an application pursuant to Section 18-09-020 hereof, the Historic Preservation Commission finds that the proposed work is of a nature that will not erode the authenticity or destroy any distinctive exterior feature of the improvements and is compatible with the distinctive characteristics of the historic site, landmark or district and is within the spirit and purpose of this Ordinance, the Commission shall advise the applicant in writing by issuing a Certificate of Approval and shall affix its seal to the plans and specifications for the approved work. In the case of an application for a building permit, upon receipt of the Commission's report of acceptability, the Building Inspector shall proceed with the review of the application for a building permit. No change which would defeat the purpose of this Ordinance shall be made in an application for a building permit or the plans and specifications for the proposed work approved by the Commission without resubmittal to the Commission and approval of such changes in the same manner as the original application.

(B) In determining the decision to be made concerning the issuance of a Certificate of Approval, the Historic Preservation Commission shall consider the following criteria:

- (1) The effect of the proposed work upon the general historical and/or architectural character of the historic site, landmark or district.
- (2) The architectural style, arrangement, texture and materials of existing and proposed structures, and their relation to the structures in the district;
- (3) The effects of the proposed work on the exterior architectural features of the structure upon which such work is to be done;
- (4) The effect of the proposed work upon the protection, enhancement, perpetuation and use of the historic site, landmark or district;
- (5) The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings in Section 18-10-010 of this Ordinance; and
- (6) Such additional criteria, as established by the Historic Preservation Commission, which it deems to be in the best interests of the town.

18-09-040 Review and Approval of Building Permits and Other Proposed Work.

(A) For the purpose of expediting the review and approval of work proposed and as prescribed in Section 18-09-010 and 18-09-020, the Commission may appoint a Permit and Work Review Committee to review such work proposed for any designated historic site, landmark or district, and to offer advice and assistance on historic preservation methods to proponents of such work. The Permit and Review Committee shall be tasked to recommend to the Commission whether to approve, disapprove, deny, or require modification of plans for any proposed work or building permit pursuant to this paragraph.

(B) The Permit and Work Review Committee shall consist of three (3) members of the Historic Preservation Commission, with two (2) alternate members from the Commission appointed to serve in the absence of regular Committee members. The Permit and Work Review Committee shall schedule special meetings as needed to review information and materials relevant to work proposed in accordance with Sections 18-09-010 and 18-09-020 of this Ordinance.

(C) The Applicant shall be notified by certified mail no later than three days prior to the specially scheduled meeting and shall be requested to appear before the Permit and Work Review Committee to present supporting information and materials for the proposed work. The Permit and Work Review Committee shall endeavor to assist the Applicant to every extent available to attain compliance with the provisions of this Ordinance. The Permit and Work Review Committee shall issue its written decision within seven (7) working days of completion of the special meeting and shall immediately transmit its decision to the Commission.

(D) The Commission shall act upon the referred decision of the Permit and Work Review Committee at the next regularly scheduled meeting; the Commission shall uphold the decisions of the Permit and Work Review Committee, or, upon further review, may issue a Certificate of Approval for the proposed work, with or without modifications or conditions, and in either event shall immediately notify the Building Inspector and the Applicant in writing of its decisions.

(E) Failure of the Commission to meet or to render a decision upon the Application within the specified time shall indicate that the proposed work has been approved and may proceed as proposed.

(F) The Building Inspector shall not issue a Permit for the proposed work unless and until the Commission approves the application or the application is approved pursuant to Section 18-09-040(E) or Section 18-09-060. The Permit shall be subject to the terms and conditions contained in the written approval of the application by the Commission.

18-09-050 Remediation of Dangerous Conditions. In any case where the Building Inspector, the Burning Mountains Fire Protection District or any other public authority having the power, orders or directs the construction, reconstruction, alteration, repair, relocation or demolition of any historic improvement for the purpose of remediation of conditions determined by, that officer, department or authority to be imminently dangerous to life, health or property, nothing contained herein shall be construed as making it unlawful for any person to comply with such order; except that any such officer, department or authority shall immediately notify the Historic Preservation Commission of the proposed issuance of any such order or directive, with sufficient time given for review of any such proposed action and prior to the execution of any such order, and shall include in such order or directive any timely received requirements or recommendations of the Commission.

18-09-060 Final Decision and Appeal. Decisions of the Historic Preservation Commission regarding the acceptability of applications for building or demolition permits hereunder of work not requiring a building permit under Section 18-09-020 shall be considered final, subject to the appeal process described in this section- Decisions of the Commission issued in accordance with this Ordinance may be appealed to the Town Board of Trustees by the permit applicant or owner of the affected property only. Any appeal must be filed in writing within fourteen (14) days of receipt of notice of the final written decision of the Commission by the owner. The appeal shall be in the form of a letter, presented to the Town Administrator/Clerk, along with any supporting material, explaining the reasons for the appeal, and a request that the entire record of the process for the decision made by the Commission be forwarded to the Town Board. Additional copies of the application and supporting material may be required from the applicant. An initial fee of thirty-five dollars (\$35.00) shall be paid by the applicant to the Town to offset costs of public notice. Additional fees may be charged to the applicant to offset additional costs of the public hearing, including costs for obtaining the services of technical expertise. Appeals will be scheduled to be heard before the Town Board not sooner than fifteen (15) days and no longer than sixty (60) days following receipt by the Town Administrator/Clerk of the written appeal.

Appeals will be considered by the Town Board at a public hearing, with notice of the hearing provided pursuant to Section 18-08-030 of this Ordinance. The Town Board may, by a two-thirds (2/3) vote of the Board members present and voting at the hearing uphold the decision of the Commission. To overturn or modify a decision of the Commission, such action must be by recorded vote of not less than two-thirds (2/3) of the entire membership of the Town Board, excluding only those memberships that are officially declared vacant at the time of voting.

The decision of the Town Board shall be final; any further appeal shall be to the District Court of competent jurisdiction.

18-09-070 Extension of time limits. Any time limit set forth in this Ordinance may be extended by mutual consent of the Historic Preservation Commission and the applicant or the Town Board or the applicant, whichever is applicable.

18-09-080 Normal Maintenance and Repair. Nothing in this Ordinance shall be construed to prohibit the accomplishment of any work on any historic site, landmark or district which will neither change the exterior appearance (including color and materials) nor the exterior architectural features of improvements or structures, nor the character or appearance of the land itself and which is considered necessary as a part of normal maintenance and repair.

18-09-090 Notification of State or Federal Designation. The Town Administrator/Clerk shall promptly notify the Historic Preservation Commission of any known state or federal designations of sites, structures, landmarks or districts within the Town.

18-09-100 Violations and Penalties. It shall be unlawful for any person to violate the provisions of this Ordinance. Any person convicted of violating any provision of this Ordinance may be fined up to Three Hundred Dollars (\$300), or sentenced to jail for up to ninety (90) days, or may be subject to both fine and imprisonment. Each day of violation shall be considered a separate offense. In case any building or structure is erected, constructed, reconstructed, altered, added to or demolished in violation of this Ordinance, the Town, or any proper person may also, in addition to its other remedies, institute an appropriate action or proceeding to prevent such unlawful action. The imposition of any penalty hereunder shall not preclude the Town or any proper person from instituting any proper action or proceeding to require compliance with the provisions of this Ordinance and with administrative orders and determinations made hereunder.

18-09-110 Fees. The Town Board may establish fees to be charged to applicants to offset costs for the administration of provisions of this Ordinance.

Chapter 18-10

Adoption of Standards for Rehabilitating Historic Buildings

18-10-010 Adoption of The Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. As a technical guide to the Commission, the Town of New Castle does ordain that a certain document which is on file and available for inspection by the public in the office of the Town Administrator/Clerk being marked and designated as:

The Standards for Rehabilitation and Guidelines of Rehabilitating Historic Buildings, a section of the Secretary of the Interior's Standards for Historic Preservation Projects, revised in 1990 as part of Department of the Interior Regulations (36 CFR Part 67, Historic Preservation Certifications) and available from the U.S. Government Printing Office, Superintendent of Documents, Mail Stop: SSOP, Washington, DC 20402-9328.

be hereby adopted as the Guide of the Town of New Castle relating to the rehabilitation of historic buildings of all materials, construction types, sizes, and occupancy, encompassing the exterior of historic buildings and also relating to landscape features and the building's site and environment as well as attached, adjacent or related new construction.

18-10-020 Application of Standards. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

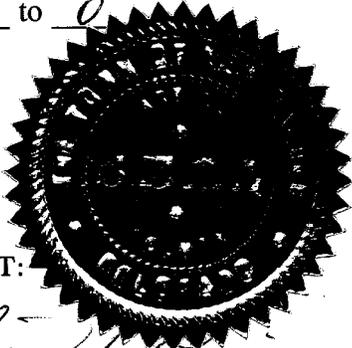
**Chapter 18-11
Severability**

18-11-010 Severability. It is hereby declared to be the legislative intent that the several provisions of this Title 18 shall be severable in accordance with the provisions set forth below:

(A) If any provision of this Title is declared to be invalid by a decision of any court of competent jurisdiction, it is hereby declared to be the legislative intent that the effect of such decision shall be limited to that provision which is expressly stated in the decision to be invalid. Such decision shall not affect, impair or nullify this Title as a whole or any other part, but the rest of this Title shall continue in full force and effect;

(B) If the application of any provision of this Title to any lot, building or other structure or a tract of land is declared to be invalid by a decision of any court of competent jurisdiction, it is hereby declared to be the legislative intent that the effect of such decision shall be limited to that lot, building or other structure or tract of land immediately involved in the controversy, action or proceeding in which the judgment or decree of invalidity was rendered. Such decision shall not affect, impair or nullify this Title as a whole or the application of any provision to any other lot, building or other structure or tract of land.

Introduced, read, and passed this 5th day of May, 1998 by a vote of 6 to 0



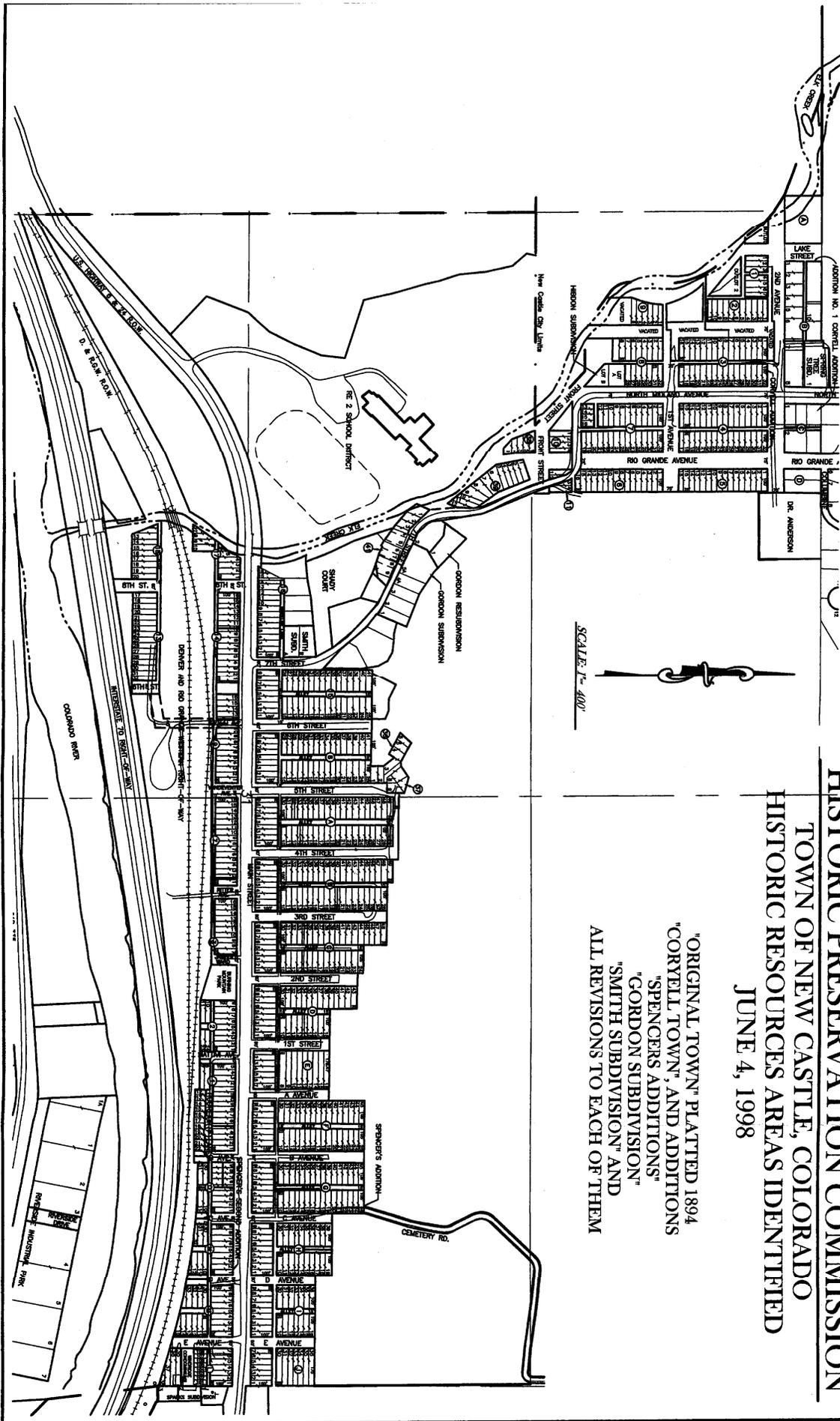
ATTEST:

[Signature]
Town Clerk

TOWN OF NEW CASTLE, COLORADO

By:

[Signature]
Steve Rippy, Mayor



HISTORIC PRESERVATION COMMISSION
TOWN OF NEW CASTLE, COLORADO
HISTORIC RESOURCES AREAS IDENTIFIED
JUNE 4, 1998

"ORIGINAL TOWN" PLATTED 1894
 "CORTELL TOWN", AND ADDITIONS
 "SPENCERS ADDITIONS"
 "GORDON SUBDIVISION"
 "SMITH SUBDIVISION" AND
 ALL REVISIONS TO EACH OF THEM

Technical Guid -
Historic Preservation Ord.
Town of New Castle, Colo.
Aug. 1997

1525

\$2.00

The Secretary of the Interior's
**Standards for
Rehabilitation**

and Guidelines for
Rehabilitating Historic Buildings

U.S. Department of the Interior
National Park Service
Preservation Assistance Division
Washington, D.C.

For sale by the U.S. Government Printing Office
Superintendent of Documents, Mail Stop: SSOP, Washington, DC 20402-9328

Office of Archaeology and
Historic Preservation
1300 Broadway
Denver, CO 80203

The Secretary of the Interior's Standards for Historic Preservation Projects with Guidelines for Applying the Standards were initially written in 1976 by W. Brown Morton III and Gary L. Hume. The Guidelines for Rehabilitating Historic Buildings were revised and expanded in 1983 by Gary L. Hume and Kay D. Weeks. The Standards for Rehabilitation were revised in 1990 following a public commenting period. It should be noted that the minor revisions to the Standards for Rehabilitation will not affect their application so that a project which was previously acceptable would continue to be acceptable.

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INTRODUCTION

The Secretary of the Interior is responsible for establishing standards for all program under Departmental authority and for advising Federal agencies on the preservation of historic properties listed or eligible for listing in the National Register of Historic Places. In partial fulfillment of this responsibility, the Secretary of the Interior's Standards for Historic Preservation Projects have been developed to guide work undertaken on historic buildings—there are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. The Standards for Rehabilitation (codified in 36 CFR 67) comprise that section of the overall preservation project standards and addresses the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

Initially developed by the Secretary of the Interior to determine the appropriateness of proposed project work on registered properties within the Historic Preservation Fund grant-in-aid program, the Standards for Rehabilitation have been widely used over the years—particularly to determine if a rehabilitation qualifies as a Certified Rehabilitation for Federal tax purposes. In addition, the Standards have guided Federal agencies in carrying out their historic preservation responsibilities for properties in Federal ownership or control; and State and local officials in reviewing both Federal and nonfederal rehabilitation proposals. They have also been adopted by historic district and planning commissions across the country.

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified for Federal tax purposes, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s), and where applicable, the district in which it is located.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alteration must not damage or destroy materials, features or finishes that are important in defining the building's historic character. For example, certain treatments—if improperly applied—may cause or accelerate physical deterioration of historic building. This can include using improper repointing or exterior masonry cleaning techniques, or introducing insulation that damages historic fabric. In almost all of these situations, use of these materials and treatments will result in a project that does not meet the Standards. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will fail to meet the Standards.

Technical Guidance Publications

The National Park Service, U.S. Department of the Interior, conducts a variety of activities to guide Federal agencies, States, and the general public in historic preservation project work. In addition to establishing standards and guidelines, the Service develops, publishes, and distributes technical information on appropriate preservation treatments, including Preservation Briefs, case studies, and Preservation Tech Notes.

A Catalog of Historic Preservation Publications with stock numbers, prices, and ordering information may be obtained by writing: Preservation Assistance Division, Technical Preservation Services, P.O. Box 37127, Washington, D.C. 20013-7127.

GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS

The Guidelines were initially developed in 1977 to help property owners, developers, and Federal managers apply the Secretary of the Interior's "Standards for Rehabilitation" during the project planning stage by providing general design and technical recommendations. Unlike the Standards, the Guidelines are *not* codified as program requirements. Together with the "Standards for Rehabilitation" they provide a model process for owners, developers, and Federal agency managers to follow.

It should be noted at the outset that the Guidelines are intended to assist in applying the Standards to projects generally; consequently, they are not meant to give case-specific advice or address exceptions or rare instances. For example, they cannot tell an owner or developer which features of their own historic building are important in defining the historic character and must be preserved—although examples are provided in each section—or which features could be altered, if necessary, for the new use. This kind of careful case-by-case decisionmaking is best accomplished by seeking assistance from qualified historic preservation professionals in the planning stage of the project. Such professionals include architects, architectural historians, historians, archeologists, and others who are skilled in the preservation, rehabilitation, and restoration of historic properties.

The Guidelines pertain to historic buildings of all sizes, materials, occupancy, and construction types; and apply to interior and exterior work as well as new exterior additions. Those approaches, treatments, and techniques that are consistent with the Secretary of the Interior's "Standards for Rehabilitation" are listed in the "Recommended" column on the left; those approaches, treatments, and techniques which could adversely affect a building's historic character are listed in the "Not Recommended" column on the right.

To provide clear and consistent guidance for owners, developers, and federal agency managers to follow, the "Recommended" courses of action in each section are listed in order of historic preservation concerns so that a rehabilitation project may be successfully planned and completed—one that, first, assures the preservation of a building's important or "character-defining" architectural materials and features and, second, makes possible an efficient contemporary use. Rehabilitation guidance in each section begins with protection and maintenance, that work which should be maximized in every project to enhance overall preservation goals. Next, where some deterioration is present, repair of the building's historic materials and features is recommended. Finally, when deterioration is so extensive that repair is not possible, the most problematic area of work is considered: replacement of historic materials and features with new materials.

To further guide the owner and developer in planning a successful rehabilitation project, those complex design issues dealing with new use requirements such as alterations and additions are highlighted at the end of each section to underscore the need for particular sensitivity in these areas.

Identify, Retain, and Preserve

The guidance that is basic to the treatment of all historic buildings—*identifying, retaining, and preserving* the form and detailing of those architectural materials and features that are important in *defining the historic character*—is always listed first in the "Recommended" column. The parallel "Not Recommended" column lists the types of actions that are most apt to cause the diminution or even loss of the building's historic character. It should be remembered, however, that such loss of character is just as often caused by the cumulative effect of a series of actions that would seem to be minor interventions. Thus, the guidance in *all* of the "Not Recommended" columns must be viewed in that larger context, e.g., for the total impact on a historic building.

Protect and Maintain

After identifying those materials and features that are important and must be retained in the process of rehabilitation work, then *protecting and maintaining* them are addressed. Protection generally involves the least degree of intervention and is preparatory to other work. For example, protection includes the maintenance of historic material through treatments such as rust removal, caulking, limited paint removal, and re-application of protective coatings; the cyclical cleaning of roof gutter systems; or installation of fencing, protective plywood, alarm systems and other temporary protective measures. Although a historic building will usually require more extensive work, an overall evaluation of its physical condition should always begin at this level.

Repair

Next, when the physical condition of character-defining materials and features warrants additional work *repairing* is recommended. Guidance for the repair of historic materials such as masonry, wood, and architectural metals again begins with the least degree of intervention possible such as patching, piecing-in, splicing, consolidating, or otherwise reinforcing or upgrading them according to recognized preservation methods. Repairing also includes the limited replacement in kind—or with compatible substitute material—of extensively deteriorated or missing parts of features when there are surviving prototypes (for example, brackets, dentils, steps, plaster, or portions of slate or tile roofing). Although using the same kind of material is always the preferred option, substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.

Replace

Following repair in the hierarchy, guidance is provided for *replacing* an entire character-defining feature with new material because the level of deterioration or damage of materials precludes repair (for example, an exterior cornice; an interior staircase; or a complete porch or storefront). If the essential form and detailing are still evident so that the physical evidence can be used to re-establish the feature as an integral part of the rehabilitation project, then its replacement is appropriate. Like the guidance for repair, the preferred option is always replacement of the entire feature in kind, that is, with the same material. Because this approach may not always be technically or economically feasible, provisions are made to consider the use of a compatible substitute material.

It should be noted that, while the National Park Service guidelines recommend the replacement of an entire character-defining feature under certain well-defined circumstances, they *never* recommend removal and replacement with new material of a feature that—although damaged or deteriorated—could reasonably be repaired and thus preserved.

Design for Missing Historic Features

When an entire interior or exterior feature is missing (for example, an entrance, or cast iron facade; or a principal staircase), it no longer plays a role in physically defining the historic character of the building unless it can be accurately recovered in form and detailing through the process

ess of carefully documenting the historical appearance. Where an important architectural feature is missing, its recovery is always recommended in the guidelines as the first or preferred course of action. Thus, if adequate historical, pictorial, and physical documentation exists so that the feature may be accurately reproduced, and if it is desirable to re-establish the feature as part of the building's historical appearance, then designing and constructing a new feature based on such information is appropriate. However, a second acceptable option for the replacement feature is a new design that is compatible with the remaining character-defining features of the historic building. The new design should always take into account the size, scale, and material of the historic building itself and, most importantly, should be clearly differentiated so that a false historical appearance is not created.

Alterations/Additions to Historic Buildings

Some exterior and interior alterations to the historic building are generally needed to assure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include providing additional parking space on an existing historic building site; cutting new entrances or windows on secondary elevations; inserting an additional floor; installing an entirely new mechanical system; or creating an atrium or light well. Alteration may also include the selective removal of buildings or other features of the environment or building site that are intrusive and therefore detract from the overall historic character.

The construction of an exterior addition to a historic building may seem to be essential for the new use, but it is emphasized in the guidelines that such new additions should be avoided, if possible, and considered only after it is determined that those needs cannot be met by altering secondary, i.e., non character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alternative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged, or destroyed.

Additions to historic buildings are referenced within specific sections of the guidelines such as Site, Roof, Structural Systems, etc., but are also considered in more detail in a separate section, NEW ADDITIONS TO HISTORIC BUILDINGS.

Health and Safety Code Requirements; Energy Retrofitting

These sections of the rehabilitation guidance address work done to meet health and safety code requirements (for example, providing barrier-free access to historic buildings); or retrofitting measures to conserve energy (for example, installing solar collectors in an unobtrusive location on the site). Although this work is quite often an important aspect of rehabilitation projects, it is usually not part of the overall process of protecting or repairing character-defining features; rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to radically change, obscure, damage, or destroy character-defining materials or features in the process of rehabilitation work to meet code and energy requirements.

Specific information on rehabilitation and preservation technology may be obtained by writing to the National Park Service, at the addresses listed below:

Preservation Assistance Division
National Park Service
P.O. Box 37127
Washington, D.C. 20013-7127

National Historic Preservation
Programs
Western Regional Office
National Park Service
450 Golden Gate Ave.
Box 36063
San Francisco, CA 94102

Division of Cultural Resources
Rocky Mountain Regional Office
National Park Service
655 Parfet St.
P.O. Box 25287
Denver, CO 80225

Preservation Services Division
Southeast Regional Office
National Park Service
75 Spring St. SW., Room 1140
Atlanta, GA 30303

Office of Cultural Programs
Mid-Atlantic Regional Office
National Park Service
Second and Chestnut Streets
Philadelphia, PA 19106

Cultural Resources Division
Alaska Regional Office
National Park Service
2525 Gambell St.
Anchorage, AK 99503

BUILDING EXTERIOR

Masonry: Brick, stone, terra cotta, concrete, adobe, stucco and mortar

Masonry features (such as brick cornices and door pediments, stone window architraves, terra cotta brackets and railings) as well as masonry surfaces (modelling, tooling, bonding patterns, joint size, and color) may be important in defining the historic character of the building. It should be noted that while masonry is among the most durable of historic building materials, it is also the most susceptible to damage by improper maintenance or repair techniques and by harsh or abrasive cleaning methods. Most preservation guidance on masonry thus focuses on such concerns as cleaning and the process of repointing.

Recommended

Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and joint and unit size, tooling and bonding patterns, coatings, and color.

Protecting and maintaining masonry by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.

Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.

Carrying out masonry surface cleaning tests after it has been determined that such cleaning is necessary. Tests should be observed over a sufficient period of time so that both the immediate effects and the long range effects are known to enable selection of the gentlest method possible.

Cleaning masonry surfaces with the gentlest method possible, such as low pressure water and detergents, using natural bristle brushes.

Inspecting painted masonry surfaces to determine whether repainting is necessary.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., handscraping) prior to repainting.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are historically appropriate to the building and district.

Not Recommended

Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Replacing or rebuilding a major portion of exterior masonry walls that could be repaired so that, as a result, the building is no longer historic and is essentially new construction.

Applying paint or other coatings such as stucco to masonry that has been historically unpainted or uncoated to create a new appearance.

Removing paint from historically painted masonry.

Radically changing the type of paint or coating or its color.

Failing to evaluate and treat the various causes of mortar joint deterioration such as leaking roofs or gutters, differential settlement of the building, capillary action, or extreme weather exposure.

Cleaning masonry surfaces when they are not heavily soiled to create a new appearance, thus needlessly introducing chemicals or moisture into historic materials.

Cleaning masonry surfaces without testing or without sufficient time for the testing results to be of value.

Sandblasting brick or stone surfaces using dry or wet grit or other abrasives. These methods of cleaning permanently erode the surface of the material and accelerate deterioration.

Using a cleaning method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.

Cleaning with chemical products that will damage masonry, such as using acid on limestone or marble, or leaving chemicals on masonry surfaces.

Applying high pressure water cleaning methods that will damage historic masonry and the mortar joints.

Removing paint that is firmly adhering to, and thus protecting, masonry surfaces.

Using methods of removing paint which are destructive to masonry, such as sandblasting, application of caustic solutions, or high pressure waterblasting.

Failing to follow manufacturers' product and application instructions when repainting masonry.

Using new paint colors that are inappropriate to the historic building and district.

BUILDING EXTERIOR

Masonry: Brick, stone, terra cotta, concrete, adobe, stucco and mortar

Masonry features (such as brick cornices and door pediments, stone window architraves, terra cotta brackets and railings) as well as masonry surfaces (modelling, tooling, bonding patterns, joint size, and color) may be important in defining the historic character of the building. It should be noted that while masonry is among the most durable of historic building materials, it is also the most susceptible to damage by improper maintenance or repair techniques and by harsh or abrasive cleaning methods. Most preservation guidance on masonry thus focuses on such concerns as cleaning and the process of repointing.

Recommended

Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and joint and unit size, tooling and bonding patterns, coatings, and color.

Protecting and maintaining masonry by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.

Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.

Carrying out masonry surface cleaning tests after it has been determined that such cleaning is necessary. Tests should be observed over a sufficient period of time so that both the immediate effects and the long range effects are known to enable selection of the gentlest method possible.

Cleaning masonry surfaces with the gentlest method possible, such as low pressure water and detergents, using natural bristle brushes.

Inspecting painted masonry surfaces to determine whether repainting is necessary.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., handscraping) prior to repainting.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are historically appropriate to the building and district.

Not Recommended

Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Replacing or rebuilding a major portion of exterior masonry walls that could be repaired so that, as a result, the building is no longer historic and is essentially new construction.

Applying paint or other coatings such as stucco to masonry that has been historically unpainted or uncoated to create a new appearance.

Removing paint from historically painted masonry.

Radically changing the type of paint or coating or its color.

Failing to evaluate and treat the various causes of mortar joint deterioration such as leaking roofs or gutters, differential settlement of the building, capillary action, or extreme weather exposure.

Cleaning masonry surfaces when they are not heavily soiled to create a new appearance, thus needlessly introducing chemicals or moisture into historic materials.

Cleaning masonry surfaces without testing or without sufficient time for the testing results to be of value.

Sandblasting brick or stone surfaces using dry or wet grit or other abrasives. These methods of cleaning permanently erode the surface of the material and accelerate deterioration.

Using a cleaning method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.

Cleaning with chemical products that will damage masonry, such as using acid on limestone or marble, or leaving chemicals on masonry surfaces.

Applying high pressure water cleaning methods that will damage historic masonry and the mortar joints.

Removing paint that is firmly adhering to, and thus protecting, masonry surfaces.

Using methods of removing paint which are destructive to masonry, such as sandblasting, application of caustic solutions, or high pressure waterblasting.

Failing to follow manufacturers' product and application instructions when repainting masonry.

Using new paint colors that are inappropriate to the historic building and district.

Wood: Clapboard, weatherboard, shingles, and other wooden siding and decorative elements

Because it can be easily shaped by sawing, planing, joining, and gouging, wood is the most commonly used material for architectural features such as clapboards, cornices, brackets, entablatures, shutters, columns and balustrades. These wooden features—both functional and decorative—may be important in defining the historic character of the building and thus their retention, protection, and repair are of particular importance in rehabilitation projects.

Recommended

Identifying, retaining, and preserving wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.

Protecting and maintaining wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.

Applying chemical preservatives to wood features such as beam ends or outriggers that are exposed to decay hazards and are traditionally unpainted.

Retaining coatings such as paint that help protect the wood from moisture and ultraviolet light. Paint removal should be considered only where there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate protective coatings.

Inspecting painted wood surfaces to determine whether repainting is necessary or if cleaning is all that is required.

Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (handscraping and handsanding), then repainting.

Using with care electric hot-air guns on decorative wood features and electric heat plates on flat wood surfaces when paint is so deteriorated that total removal is necessary prior to repainting.

Using chemical strippers primarily to supplement other methods such as handscraping, handsanding and the above-recommended thermal devices. Detachable wooden elements such as shutters, doors, and columns may—with the proper safeguards—be chemically dip-stripped.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are appropriate to the historic building and district.

Not Recommended

Removing or radically changing wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic wood from a facade instead of repairing or replacing only the deteriorated wood, then reconstructing the facade with new material in order to achieve a uniform or "improved" appearance.

Radically changing the type of finish or its color or accent scheme so that the historic character of the exterior is diminished.

Stripping historically painted surfaces to bare wood, then applying clear finishes or stains in order to create a "natural look."

Stripping paint or varnish to bare wood rather than repairing or reapplying a special finish, i.e., a grained finish to an exterior wood feature such as a front door.

Failing to identify, evaluate, and treat the causes of wood deterioration, including faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungus infestation.

Using chemical preservatives such as creosote which can change the appearance of wood features unless they were used historically.

Stripping paint or other coatings to reveal bare wood, thus exposing historically coated surfaces to the effects of accelerated weathering.

Removing paint that is firmly adhering to, and thus, protecting wood surfaces.

Using destructive paint removal methods such as a propane or butane torches, sandblasting or waterblasting: These methods can irreversibly damage historic woodwork.

Using thermal devices improperly so that the historic woodwork is scorched.

Failing to neutralize the wood thoroughly after using chemicals so that new paint does not adhere.

Allowing detachable wood features to soak too long in a caustic solution so that the wood grain is raised and the surface roughened.

Failing to follow manufacturers' product and application instructions when repainting exterior woodwork.

Using new colors that are inappropriate to the historic building or district.

Recommended

Not Recommended

Evaluating the overall condition of the wood to determine whether more than protection and maintenance are required, that is, if repairs to wood features will be necessary.

Failing to undertake adequate measures to assure the preservation of wood features.

Repairing wood features by patching, piecing-in, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, moldings, or sections of siding.

Replacing an entire wood feature such as a cornice or wall when repair of the wood and limited replacement of deteriorated or missing parts are appropriate.

Replacing in kind an entire wood feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. Examples of wood features include a cornice, entablature or balustrade. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Using substitute materials for the replacement part that does not convey the visual appearance of the surviving parts of the wood feature or that is physically or chemically incompatible.

Removing an entire wood feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

The following work is highlighted because it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and installing a new wood feature such as a cornice or doorway when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, materials, and color of the historic building.

Creating a false historic appearance because the replaced wood feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new wood feature that is incompatible in size, scale, material, and color.

Architectural Metals: Cast iron, steel, pressed tin, copper, aluminum, and zinc

Architectural metal features—such as cast-iron facades, porches, and steps; sheet metal cornices, roofs, roof cresting and storefronts; and cast or rolled metal doors, window sash, entablatures, and hardware—are often highly decorative and may be important in defining the overall historic character of the building. Their retention, protection, and repair should be a prime consideration in rehabilitation projects.

Recommended

Not Recommended

Identifying, retaining, and preserving architectural metal features such as columns, capitals, window hoods, or stairways that are important in defining the overall historic character of the building; and their finishes and colors.

Removing or radically changing architectural metal features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic architectural metal from facade instead of repairing or replacing only the deteriorated metal then reconstructing the facade with new material in order to create a uniform, or "improved" appearance.

Radically changing the type of finish or its historical color or access scheme.

Protecting and maintaining architectural metals from corrosion by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved, decorative features.

Failing to identify, evaluate, and treat the causes of corrosion, such as moisture from leaking roofs or gutters.

Placing incompatible metals together without providing a reliable separation material. Such incompatibility can result in galvanic corrosion of the less noble metal, e.g., copper will corrode cast iron, steel, tin, and aluminum.

Cleaning architectural metals, when necessary, to remove corrosion prior to repainting or applying other appropriate protective coatings.

Exposing metals which were intended to be protected from the environment.

Applying paint or other coatings to metals such as copper, bronze or stainless steel that were meant to be exposed.

Recommended

Identifying the particular type of metal prior to any cleaning procedure and then testing to assure that the gentlest cleaning method possible is selected or determining that cleaning is inappropriate for the particular metal.

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with appropriate chemical methods because their finishes can be easily abraded by blasting methods.

Using the gentlest cleaning methods for cast iron, wrought iron, and steel—hard metals—in order to remove paint buildup and corrosion. If handscraping and wire brushing have proven ineffective, low pressure dry grit blasting may be used as long as it does not abrade or damage the surface.

Applying appropriate paint or other coating systems after cleaning in order to decrease the corrosion rate of metals or alloys.

Repainting with colors that are appropriate to the historic building or district.

Applying an appropriate protective coating such as lacquer to an architectural metal feature such as a bronze door which is subject to heavy pedestrian use.

Evaluating the overall condition of the architectural metals to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

Repairing architectural metal features by patching, splicing, or otherwise reinforcing the metal following recognized preservation methods. Repairs may also include the limited replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balusters, column capitals or bases; or porch cresting.

Replacing in kind an entire architectural metal feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. Examples could include cast iron porch steps or steel sash windows. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and installing a new architectural metal feature such as a sheet metal cornice or cast iron capital when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

Not Recommended

Using cleaning methods which alter or damage the historic color, texture, and finish of the metal; or cleaning when it is inappropriate for the metal.

Removing the patina of historic metal. The patina may be a protective coating on some metals, such as bronze or copper, as well as a significant historic finish.

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with grit blasting which will abrade the surface of the metal.

Failing to employ gentler methods prior to abrasively cleaning cast iron, wrought iron or steel; or using high pressure grit blasting.

Failing to re-apply protective coating systems to metals or alloys that require them after cleaning so that accelerated corrosion occurs.

Using new colors that are inappropriate to the historic building or district.

Failing to assess pedestrian use or new access patterns so that architectural metal features are subject to damage by use or inappropriate maintenance such as salting adjacent sidewalks.

Failing to undertake adequate measures to assure the preservation of architectural metal features.

Replacing an entire architectural metal feature such as a column or a balustrade when repair of the metal and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the architectural metal feature or that is physically or chemically incompatible.

Removing an architectural metal feature that is unrepairable and not replacing it; or replacing it with a new architectural metal feature that does not convey the same visual appearance.

Creating a false historic appearance because the replaced architectural metal feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new architectural metal feature that is incompatible in size, scale, material, and color.

Roofs

The roof—with its shape; features such as cresting, dormers, cupolas, and chimneys; and the size, color, and patterning of the roofing material—can be extremely important in defining the building's overall historic character. In addition to the design role it plays, a weathertight roof is essential to the preservation of the entire structure; thus, protecting and repairing the roof as a "cover" is a critical aspect of every rehabilitation project.

Recommended

Identifying, retaining, and preserving roofs—and their functional and decorative features—that are important in defining the overall historic character of the building. This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting, chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

Protecting and maintaining a roof by cleaning the gutters and downspouts and replacing deteriorated flashing. Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to insure that materials are free from insect infestation.

Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.

Protecting a leaking roof with plywood and building paper until it can be properly repaired.

Repairing a roof by reinforcing the historic materials which comprise roof features. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as cupola louvers, dentils, dormer roofing; or slates, tiles, or wood shingles on a main roof.

Replacing in kind an entire feature of the roof that is too deteriorated to repair—if the overall form and detailing are still evidence—using the physical evidence to guide the new work. Examples can include a large section of roofing, or a dormer or chimney. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation project and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and constructing a new feature when the historic feature is completely missing, such as a chimney or cupola. It may be an accurate restoration using historical, pictorial and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

Not Recommended

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building; that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Failing to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.

Allowing roof fasteners, such as nails and clips to corrode so that roofing material is subject to accelerated deterioration.

Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials—masonry, wood, plaster, paint and structural members—occurs.

Replacing an entire roof feature such as a cupola or dormer with a repair of the historic materials and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof that is physically or chemically incompatible.

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

Recommended

Not Recommended

Alterations/Additions for the New Use

Installing mechanical and service equipment on the roof such as air conditioning, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Designing additions to roofs, such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Installing mechanical or service equipment so that it damages or obscures character-defining features; or is conspicuous from the public right-of-way.

Radically changing a character-defining roof shape or damaging or destroying character-defining roofing material as a result of incompatible design or improper installation techniques.

Windows

A highly decorative window with an unusual shape, or glazing pattern, or color is most likely identified immediately as a character-defining feature of the building. It is far more difficult, however, to assess the importance of repeated windows on a facade, particularly if they are individually simple in design and material, such as the large, multi-paned sash of many industrial buildings. Because rehabilitation projects frequently include proposals to replace window sash or even entire windows to improve thermal efficiency or to create a new appearance, it is essential that their contribution to the overall historic character of the building be assessed together with their physical condition before specific repair or replacement work is undertaken.

Recommended

Not Recommended

Identifying, retaining, and preserving windows—and their functional and decorative features—that are important in defining the overall historic character of the building. Such features can include frames, sash, muntins, glazing, sills, heads, hoodmolds, panelled or decorated jambs and moldings, and interior and exterior shutters and blinds.

Removing or radically changing windows which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash which does not fit the historic window opening.

Changing the historic appearance of windows through the use of inappropriate designs, materials, finishes, or colors which radically change the sash, depth of reveal, and muntin configuration; the reflectivity and color of the glazing; or the appearance of the frame.

Obscuring historic window trim with metal or other material.

Stripping windows of historic material such as wood, iron, cast iron, and bronze.

Protecting and maintaining the wood and architectural metal which comprise the window frame, sash, muntins, and surrounds through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of the windows results.

Windows (continued)

Recommended

Making windows weathertight by recaulking and replacing or installing weatherstripping. These actions also improve thermal efficiency.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, i.e. if repairs to windows and window features will be required.

Repairing window frames and sash by patching, splicing, consolidating or otherwise reinforcing. Such repair may also include replacement in kind of those parts that are either extensively deteriorated or are missing when there are surviving prototypes such as architraves, hoodmolds, sash, sills, and interior or exterior shutters and blinds.

Replacing in kind an entire window that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and installing new windows when the historic windows (frame, sash and glazing) are completely missing. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation, or be a new design that is compatible with the window openings and the historic character of the building.

Not Recommended

Retrofitting or replacing windows rather than maintaining the sash, frame, and glazing.

Failing to undertake adequate measures to assure the preservation of historic windows.

Replacing an entire window when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse serviceable window hardware such as brass lifts and sash locks.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the window or that is physically or chemically incompatible.

Removing a character-defining window that is unrepairable and blocking it in; or replacing it with a new window that does not convey the same visual appearance.

Alterations/Additions for the New Use

Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the penetration pattern and detailing of a character-defining elevation.

Providing a setback in the design of dropped ceilings when they are required for the new use to allow for the full height of the window openings.

Creating a false historical appearance because the replaced window is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible with the historic character of the building.

Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features.

Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are changed.

Entrances and Porches

Entrances and porches are quite often the focus of historic buildings, particularly when they occur on primary elevations. Together with their functional and decorative features such as doors, steps, balustrades, pilasters, and entablatures, they can be extremely important in defining the overall historic character of a building. Their retention, protection, and repair should always be carefully considered when planning rehabilitation work.

Recommended

Identifying, retaining, and preserving entrances—and their functional and decorative features—that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilasters, entablatures, columns, balustrades, and stairs.

Protecting and maintaining the masonry, wood, and architectural metal that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, that is, if repairs to entrance and porch features will be necessary.

Repairing entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.

Replacing in kind an entire entrance or porch that is too deteriorated to repair—if the form and detailing are still evident—using the physical evidence to guide the new work. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Stripping entrances and porches of historic material such as wood, iron, cast iron, terra cotta, tile and brick.

Removing an entrance or porch because the building has been re-oriented to accommodate a new use.

Cutting new entrances on a primary elevation.

Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of entrances and porches results.

Failing to undertake adequate measures to assure the preservation of historic entrances and porches.

Replacing an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.

Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible.

Removing an entrance or porch that is unrepairable and not replacing it; or replacing it with a new entrance or porch that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and constructing a new entrance or porch if the historic entrance or porch is completely missing. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building.

Creating a false historical appearance because the replaced entrance or porch is based on insufficient historical, pictorial, and physical documentation.

Introducing a new entrance or porch that is incompatible in size, scale, material, and color.

Alterations/Additions for the New Use

Designing enclosures for historic porches when required by the new use in a manner that preserves the historic character of the building. This can include using large sheets of glass and recessing the enclosure wall behind existing scrollwork, posts, and balustrades.

Enclosing porches in a manner that results in a diminution or loss of historic character such as using solid materials such as wood, stucco, or masonry.

Recommended

Designing and installing additional entrances or porches when required for the new use in a manner that preserves the historic character of the building, i.e., limiting such alteration to non-character-defining elevations.

Not Recommended

Installing secondary service entrances and porches that are incompatible in size and scale with the historic building or obscure, damage, or destroy character-defining features.

Storefronts

Storefronts are quite often the focus of historic commercial buildings and can thus be extremely important in defining the overall historic character. Because storefronts also play a crucial role in store's advertising and merchandising strategy to draw customers and increase business, they are often altered to meet the needs of a new business. Particular care is required in planning and accomplishing work on storefronts so that the building's historic character is preserved in the process of rehabilitation.

Recommended

Identifying, retaining, and preserving storefronts—and their functional and decorative features—that are important in defining the overall historic character of the building such as display windows, signs, doors, transoms, kick plates, corner posts, and entablatures.

Protecting and maintaining masonry, wood, and architectural metals which comprise storefronts through appropriate treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.

Not Recommended

Removing or radically changing storefronts—and the features—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Changing the storefront so that it appears residential rather than commercial in character.

Removing historic material from the storefront to create a recessed arcade.

Introducing coach lanterns, mansard overhangings, wood shake nonoperable shutters, and small-paned windows if they cannot be documented historically.

Changing the location of a storefront's main entrance.

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of storefront features results.

Recommended

Protecting storefronts against arson and vandalism before work begins by boarding up windows and installing alarm systems that are keyed into local protection agencies.

Evaluating the overall condition of storefront materials to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

Repairing storefronts by reinforcing the historic materials. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of storefronts where there are surviving prototypes such as transoms, kick plates, pilasters, or signs.

Replacing in kind an entire storefront that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.

Not Recommended

Permitting entry into the building through unsecured or broken windows and doors so that interior features and finishes are damaged through exposure to weather or through vandalism.

Stripping storefronts of historic material such as wood, cast iron, terra cotta, carrara glass, and brick.

Failing to undertake adequate measures to assure the preservation of the historic storefront.

Replacing an entire storefront when repair of materials and limited replacement of its parts are appropriate.

Using substitute material for the replacement parts that does not convey the same visual appearance as the surviving parts of the storefront or that is physically or chemically incompatible.

Removing a storefront that is unrepairable and not replacing it; or replacing it with a new storefront that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation project and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Design for Missing Historic Features

Designing and constructing a new storefront when the historic storefront is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building. Such new design should generally be flush with the facade, and the treatment of secondary design elements, such as awnings or signs, kept as simple as possible. For example, new signs should fit flush with the existing features of the facade, such as the fascia board or cornice.

Not Recommended

Creating a false historical appearance because the replacement storefront is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible in size, scale, material, and color.

Using new illuminated signs; inappropriately scaled signs and logos; signs that project over the sidewalk unless they were characteristic feature of the historic building; or other types of signs that obscure, damage, or destroy remaining character-defining features of the historic building.

BUILDING INTERIOR *Structural System*

If **members** of the structural system are exposed: as loadbearing brick walls, cast iron columns, roof trusses, posts and beams, vigas, or stone foundation walls, they may be important in defining the building's overall historic character. Unexposed structural features that are not character-defining or an entire structural system may nonetheless be significant in the history of building technology; therefore, the structural system should always be examined and evaluated early in the project planning stage to determine both its physical condition and its importance to the building's historic character or historical significance. See also Health and Safety Code Requirements.

Recommended

Identifying, retaining, and preserving structural systems—and individual features of systems—that are important in defining the overall historic character of the building, such as post and beam systems, trusses, summer beams, vigas, cast iron columns, above-grade stone foundation walls, or loadbearing brick or stone walls.

Protecting and maintaining the structural system by cleaning the roof gutters and downspouts; replacing roof flashing; keeping masonry, wood, and architectural metals in a sound condition; and assuring that structural members are free from insect infestation.

Examining and evaluating the physical condition of the structural system and its individual features using non-destructive techniques such as X-ray photography.

Repairing the structural system by augmenting or upgrading individual parts or features. For example, weakened structural members such as floor framing can be spliced, braced, or otherwise supplemented and reinforced.

Replacing in kind—or with substitute material—those portions or features of the structural system that are either extensively deteriorated or are missing when there are surviving prototypes such as cast iron columns, roof rafters or trusses, or sections of loadbearing walls. Substitute material should convey the same form, design, and overall visual appearance as the historic feature; and, at a minimum, be equal to its loadbearing capabilities.

Not Recommended

Removing, covering, or radically changing features of structural systems which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Putting a new use into the building which could overload the existing structural system; or installing equipment or mechanical systems which could damage the structure.

Demolishing a loadbearing masonry wall that could be augmented and retained and replacing it with a new wall (i.e., brick or stone), using the historic masonry only as an exterior veneer.

Leaving known structural problems untreated such as deflection of beams, cracking and bowing of walls, or racking of structural members.

Utilizing treatments or products that accelerate the deterioration of structural material such as introducing urea-formaldehyde foam insulation into frame walls.

Failing to provide proper building maintenance on a cyclical basis so that deterioration of the structural system results.

Utilizing destructive probing techniques that will damage or destroy structural material.

Upgrading the building structurally in a manner that diminishes the historic character of the exterior, such as installing strapping channels or removing a decorative cornice; or damages interior features or spaces.

Replacing a structural member or other feature of the structural system when it could be augmented and retained.

Installing a replacement feature that does not convey the same visual appearance, e.g., replacing an exposed wood summer beam with a steel beam.

Using substitute material that does not equal the loadbearing capabilities of the historic material and design or is otherwise physically or chemically incompatible.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Not Recommended

Alterations/Additions for the New Use

Limiting any new excavations adjacent to historic foundations to avoid undermining the structural stability of the building or adjacent historic buildings.

Correcting structural deficiencies in preparation for the new use in a manner that preserves the structural system and individual character-defining features.

Designing and installing new mechanical or electrical systems when required for the new use which minimize the number of cutouts or holes in structural members.

Adding a new floor when required for the new use if such an alteration does not damage or destroy the structural system or obscure, damage, or destroy character-defining spaces, features, or finishes.

Creating an atrium or a light well to provide natural light when required for the new use in a manner that assures the preservation of the structural system as well as character-defining interior spaces, features, and finishes.

Carrying out excavations or regrading adjacent to or within a historic building which could cause the historic foundation to settle, shift, or fail; or could have a similar effect on adjacent historic buildings.

Radically changing interior spaces or damaging or destroying features or finishes that are character-defining while trying to correct structural deficiencies in preparation for the new use.

Installing new mechanical and electrical systems or equipment in a manner which results in numerous cuts, splices, or alterations to the structural members.

Inserting a new floor when such a radical change damages a structural system or obscures or destroys interior spaces, features, or finishes.

Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are radically changed.

Damaging the structural system or individual features; or radically changing, damaging, or destroying character-defining interior spaces, features, or finishes in order to create an atrium or a light well.

Interior: Spaces, Features, and Finishes

An interior floor plan, the arrangement of spaces, and built-in features and applied finishes may be individually or collectively important in defining the historic character of the building. Thus, their identification, retention, protection, and repair should be given prime consideration in every rehabilitation project and caution exercised in pursuing any plan that would radically change character-defining spaces or obscure, damage or destroy interior features or finishes.

Recommended

Not Recommended

Interior Spaces

Identifying, retaining, and preserving a floor plan or interior spaces that are important in defining the overall historic character of the building. This includes the size, configuration, proportion, and relationship of rooms and corridors; the relationship of features to spaces; and the spaces themselves such as lobbies, reception halls, entrance halls, double parlors, theaters, auditoriums, and important industrial or commercial use spaces.

Radically changing a floor plan or interior spaces—including individual rooms—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Altering the floor plan by demolishing principal walls and partitions to create a new appearance.

Altering or destroying interior spaces by inserting floors, cutting through floors, lowering ceilings, or adding or removing walls.

Relocating an interior feature such as a staircase so that the historic relationship between features and spaces is altered.

Recommended

Interior Features and Finishes

Identifying, retaining, and preserving interior features and finishes that are important in defining the overall historic character of the building, including columns, cornices, baseboards, fireplaces and mantles, paneling, light fixtures, hardware, and flooring; and wallpaper, plaster, paint, and finishes such as stenciling, marbling, and graining; and other decorative materials that accent interior features and provide color, texture, and patterning to walls, floors, and ceilings.

Protecting and maintaining masonry, wood, and architectural metals which comprise interior features through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coatings systems.

Protecting interior features and finishes against arson and vandalism before project work begins, erecting protective fencing, boarding-up windows, and installing fire alarm systems that are keyed to local protection agencies.

Protecting interior features such as a staircase, mantel, or decorative finishes and wall coverings against damage during project work by covering them with heavy canvas or plastic sheets.

Installing protective coverings in areas of heavy pedestrian traffic to protect historic features such as wall coverings, parquet flooring and panelling.

Removing damaged or deteriorated paints and finishes to the next sound layer using the gentlest method possible, then repainting or refinishing using compatible paint or other coating systems.

Repainting with colors that are appropriate to the historic building.

Limiting abrasive cleaning methods to certain industrial or warehouse buildings where the interior masonry or plaster features do not have distinguishing design, detailing, tooling, or finishes; and where wood features are not finished, molded, beaded, or worked by hand. Abrasive cleaning should *only* be considered after other, gentler methods have been proven ineffective.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, that is, if repairs to interior features and finishes will be necessary.

Not Recommended

Removing or radically changing features and finishes which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Installing new decorative material that obscures or damages character-defining interior features or finishes.

Removing paint, plaster, or other finishes from historically finished surfaces to create a new appearance (e.g., removing plaster to expose masonry surfaces such as brick walls or a chimney piece).

Applying paint, plaster, or other finishes to surfaces that have been historically unfinished to create a new appearance.

Stripping historically painted wood surfaces to bare wood, then applying clear finishes or stains to create a "natural look."

Stripping paint to bare wood rather than repairing or reapplying grained or marbled finishes to features such as doors and paneling.

Radically changing the type of finish or its color, such as painting a previously varnished wood feature.

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of interior features results.

Permitting entry into historic buildings through unsecured or broken windows and doors so that interior features and finishes are damaged by exposure to weather or through vandalism.

Stripping interiors of features such as woodwork, doors, windows, light fixtures, copper piping, radiators, or of decorative materials.

Failing to provide proper protection of interior features and finishes during work so that they are gouged, scratched, dented, or otherwise damaged.

Failing to take new use patterns into consideration so that interior features and finishes are damaged.

Using destructive methods such as propane or butane torches or sandblasting to remove paint or other coatings. These methods can irreversibly damage the historic materials that comprise interior features.

Using new paint colors that are inappropriate to the historic building.

Changing the texture and patina of character-defining features through sandblasting or use of other abrasive methods to remove paint, discoloration or plaster. This includes both exposed wood (including structural members) and masonry.

Failing to undertake adequate measures to assure the preservation of interior features and finishes.

Recommended

Repairing interior features and finishes by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features when there are surviving prototypes such as stairs, balustrades, wood paneling, columns; or decorative wall coverings or ornamental tin or plaster ceilings.

Replacing in kind an entire interior feature or finish that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. Examples could include wainscoting, a tin ceiling, or interior stairs. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation practice and should only be considered after the preservation concerns listed above have been addressed.

Design for Missing Historic Features

Designing and installing a new interior feature or finish if the historic feature or finish is completely missing. This could include missing partitions, stairs, elevators, lighting fixtures, and wall coverings; or even entire rooms if all historic spaces, features, and finishes are missing or have been destroyed by inappropriate "renovations." The design may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building, district, or neighborhood.

Creating a false historical appearance because the replaced fit is based on insufficient physical, historical, and pictorial documentation or on information derived from another building.

Introducing a new interior feature or finish that is incompatible with the scale, design, materials, color, and texture of the surviving interior features and finishes.

Alterations/Additions for the New Use

Accommodating service functions such as bathrooms, mechanical equipment, and office machines required by the building's new use in secondary spaces such as first floor service areas or on upper floors.

Reusing decorative material or features that have had to be removed during the rehabilitation work including wall and baseboard trim, door moulding, panelled doors, and simple wainscoting; and relocating such material or features in areas appropriate to their historic placement.

Installing permanent partitions in secondary spaces; removable partitions that do not destroy the sense of space should be installed when the new use requires the subdivision of character-defining interior spaces.

Enclosing an interior stairway where required by code so that its character is retained. In many cases, glazed fire-rated walls may be used.

Placing new code-required stairways or elevators in secondary and service areas of the historic building.

Dividing rooms, lowering ceilings, and damaging or obscuring character-defining features such as fireplaces, niches, stairway alcoves, so that a new use can be accommodated in the building.

Discarding historic material when it can be reused within rehabilitation project or relocating it in historically inappropriate areas.

Installing permanent partitions that damage or obscure character-defining spaces, features, or finishes.

Enclosing an interior stairway with fire-rated construction so the stairwell space or any character-defining features are destroyed.

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding new code-required stairways and elevators.

Not Recommended

Replacing an entire interior feature such as a staircase, partition wall, parquet floor, or cornice; or finish such as a decorative covering or ceiling when repair of materials and limited replacement of such parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts or portions of the interior feature or finish or that is physically or chemically incompatible.

Removing a character-defining feature or finish that is unreparable and not replacing it; or replacing it with a new feature or finish that does not convey the same visual appearance.

Recommended

Creating an atrium or a light well to provide natural light when required for the new use in a manner that preserves character-defining interior spaces, features, and finishes as well as the structural system.

Adding a new floor if required for the new use in a manner that preserves character-defining structural features, and interior spaces, features, and finishes.

Not Recommended

Destroying character-defining interior spaces, features, or finishes or damaging the structural system in order to create an atrium or light well.

Inserting a new floor within a building that alters or destroys the fenestration; radically changes a character-defining interior space; or obscures, damages, or destroys decorative detailing.

**Mechanical Systems:
Heating, Air Conditioning,
Electrical, and Plumbing**

The visible features of historic heating, lighting, air conditioning and plumbing systems may sometimes help define the overall historic character of the building and should thus be retained and repaired, whenever possible. The systems themselves (the compressors, boilers, generators and their ductwork, wiring and pipes) will generally either need to be upgraded, augmented, or entirely replaced in order to accommodate the new use and to meet code requirements. Less frequently, individual portions of a system or an entire system are significant in the history of building technology; therefore, the identification of character-defining features or historically significant systems should take place together with an evaluation of their physical condition early in project planning.

Recommended

Identifying, retaining, and preserving visible features of early mechanical systems that are important in defining the overall historic character of the building, such as radiators, vents, fans, grilles, plumbing fixtures, switchplates, and lights.

Protecting and maintaining mechanical, plumbing, and electrical systems and their features through cyclical cleaning and other appropriate measures.

Preventing accelerated deterioration of mechanical systems by providing adequate ventilation of attics, crawlspaces, and cellars so that moisture problems are avoided.

Repairing mechanical systems by augmenting or upgrading system parts, such as installing new pipes and ducts; rewiring; or adding new compressors or boilers.

Replacing in kind—or with compatible substitute material—those visible features of mechanical systems that are either extensively deteriorated or are missing when there are surviving prototypes such as ceiling fans, switchplates, radiators, grilles, or plumbing fixtures.

Not Recommended

Removing or radically changing features of mechanical systems that are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of mechanical systems and their visible features results.

Enclosing mechanical systems in areas that are not adequately ventilated so that deterioration of the systems results.

Replacing a mechanical system or its functional parts when it could be upgraded and retained.

Installing a replacement feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Not Recommended

Alterations/Additions for the New Use

Installing a completely new mechanical system if required for the new use so that it causes the least alteration possible to the building's floor plan, the exterior elevations, and the least damage to historic building material.

Installing the vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities.

Installing air conditioning units if required by the new use in such a manner that the historic materials and features are not damaged or obscured.

Installing heating/air conditioning units in the window frames in such a manner that the sash and frames are protected. Window installations should be considered only when all other viable heating/cooling systems would result in significant damage to historic materials.

Installing a new mechanical system so that character-defining structural or interior features are radically changed, damaged, or destroyed.

Installing vertical runs of ducts, pipes, and cables in places where they will obscure character-defining features.

Concealing mechanical equipment in walls or ceilings in a manner that requires the removal of historic building material.

Installing "dropped" acoustical ceilings to hide mechanical equipment when this destroys the proportions of character-defining interior spaces.

Cutting through features such as masonry walls in order to install air conditioning units.

Radically changing the appearance of the historic building or damaging or destroying windows by installing heating/air conditioning units in historic window frames.

BUILDING SITE

The relationship between a historic building or buildings and landscape features within a property's boundaries—or the building site—helps to define the historic character and should be considered an integral part of overall planning for rehabilitation project work.

Recommended

Not Recommended

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character. Site features can include driveways, walkways, lighting, fencing, signs, benches, fountains, wells, terraces, canal systems, plants and trees, berms, and drainage or irrigation ditches; and archeological features that are important in defining the history of the site.

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

Retaining the historic relationship between buildings, landscape features, and open space.

Removing or relocating historic buildings or landscape features, thus destroying the historic relationship between buildings, landscape features, and open space.

Removing or relocating historic buildings on a site or in a complex of related historic structures—such as a mill complex or farm—thus diminishing the historic character of the site or complex.

Moving buildings onto the site, thus creating a false historical appearance.

Lowering the grade level adjacent to a building to permit development of a formerly below-grade area such as a basement in a manner that would drastically change the historic relationship of the building to its site.

Protecting and maintaining buildings and the site by providing proper drainage to assure that water does not erode foundation walls; drain toward the building, nor erode the historic landscape.

Failing to maintain site drainage so that buildings and site features are damaged or destroyed; or, alternatively, changing the site grading so that water no longer drains properly.

Recommended

Minimizing disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying unknown archeological materials.

Surveying areas where major terrain alteration is likely to impact important archeological sites.

Protecting, e.g. preserving in place known archeological material whenever possible.

Planning and carrying out any necessary investigation using professional archeologists and modern archeological methods when preservation in place is not feasible.

Protecting the building and other features of the site against arson and vandalism before rehabilitation work begins, i.e., erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Providing continued protection of masonry, wood, and architectural metals which comprise building and site features through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems; and continued protection and maintenance of landscape features, including plant material.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, that is, if repairs to building and site features will be necessary.

Repairing features of buildings and the site by reinforcing the historic materials. Repair will also generally include replacement in kind—with a compatible substitute material—of those extensively deteriorated or missing parts of features where there are surviving prototypes such as fencing and paving.

Replacing in kind an entire feature of the building or site that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence to guide the new work. This could include an entrance or porch, walkway, or fountain. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Introducing heavy machinery or equipment into areas where their presence may disturb archeological materials.

Failing to survey the building site prior to the beginning of rehabilitation project work so that, as a result, important archeological material is destroyed.

Leaving known archeological material unprotected and subject to vandalism, looting, and destruction by natural elements such as erosion.

Permitting unqualified project personnel to perform data recovery so that improper methodology results in the loss of important archeological material.

Permitting buildings and site features to remain unprotected so that plant materials, fencing, walkways, archeological features, etc. are damaged or destroyed.

Stripping features from buildings and the site such as wood siding, iron fencing, masonry balustrades; or removing or destroying landscape features, including plant material.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of building and site features results.

Failing to undertake adequate measures to assure the preservation of building and site features.

Replacing an entire feature of the building or site such as a fence, walkway, or driveway when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building or site feature or that is physically or chemically incompatible.

Removing a feature of the building or site that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation project work and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Not Recommended

Design for Missing Historic Features

Designing and constructing a new feature of a building or site when the historic feature is completely missing, such as an outbuilding, terrace, or driveway. It may be based on historical, pictorial, and physical documentation, or be a new design that is compatible with the historic character of the building and site.

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new building or site feature that is out of scale or otherwise inappropriate.

Introducing a new landscape feature or plant material that is visually incompatible with the site or that destroys site patterns or vistas.

Alterations/Additions for the New Use

Designing new onsite parking, loading docks, or ramps when required by the new use so that they are as unobtrusive as possible and assure the preservation of character-defining features of the site.

Placing parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or landscape features or be intrusive to the building site.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Removing non-significant buildings, additions, or site features which detract from the historic character of the site.

Removing a historic building in a complex, a building feature, or a site feature which is important in defining the historic character of the site.

**DISTRICT/
NEIGHBORHOOD**

The relationship between historic buildings, and streetscape and landscape features within a historic district or neighborhood helps to define the historic character and therefore should always be a part of the rehabilitation plans.

Recommended

Not Recommended

Identifying, retaining, and preserving buildings, and streetscape, and landscape features which are important in defining the overall historic character of the district or neighborhood. Such features can include streets, alleys, paving, walkways, street lights, signs, benches, parks and gardens, and trees.

Removing or radically changing those features of the district or neighborhood which are important in defining the overall historic character so that, as a result, the character is diminished.

Retaining the historic relationship between buildings, and streetscape and landscape features such as a town square comprised of row houses and stores surrounding a communal park or open space.

Destroying streetscape and landscape features by widening existing streets, changing paving material, or introducing inappropriately located new streets or parking lots.

Protecting and maintaining the historic masonry, wood, and architectural metals which comprise building and streetscape features, through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems; and protecting and maintaining landscape features, including plant material.

Removing or relocating historic buildings, or features of the streetscape and landscape, thus destroying the historic relationship between buildings, features and open space.

Protecting buildings, paving, iron fencing, etc. against arson and vandalism before rehabilitation work begins by erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of building, streetscape, and landscape features results.

Permitting buildings to remain unprotected so that windows are broken; and interior features are damaged.

Stripping features from buildings or the streetscape such as wood siding, iron fencing, or terra cotta balusters; or removing or destroying landscape features, including plant material.

Recommended

Evaluating the overall condition of building, streetscape and landscape materials to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

Repairing features of the building, streetscape, or landscape by reinforcing the historic materials. Repair will also generally include the replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balustrades, paving materials, or streetlight standards.

Replacing in kind an entire feature of the building, streetscape, or landscape that is too deteriorated to repair—when the overall form and detailing are still evident—using the physical evidence to guide the new work. This could include a storefront, a walkway, or a garden. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Failing to undertake adequate measures to assure the preservation of building, streetscape, and landscape features.

Replacing an entire feature of the building, streetscape, or landscape such as a porch, walkway, or streetlight, when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building, streetscape, or landscape feature or that is physically or chemically incompatible.

Removing a feature of the building, streetscape, or landscape that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

The following work is highlighted because it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Not Recommended

Design for Missing Historic Features

Designing and constructing a new feature of the building, streetscape, or landscape when the historic feature is completely missing, such as row house steps, a porch, streetlight, or terrace. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the district or neighborhood.

Alterations/Additions for the New Use

Designing required new parking so that it is as unobtrusive as possible, i.e., on side streets or at the rear of buildings. "Shared" parking should also be planned so that several businesses can utilize one parking area as opposed to introducing random, multiple lots.

Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the district or neighborhood in terms of size, scale, design, material, color, and texture.

Removing nonsignificant buildings, additions, or streetscape and landscape features which detract from the historic character of the district or the neighborhood.

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial and physical documentation.

Introducing a new building, streetscape or landscape feature that is out of scale or otherwise inappropriate to the setting's historic character, e.g., replacing picket fencing with chain link fencing.

Placing parking facilities directly adjacent to historic buildings which cause the removal of historic plantings, relocation of paths and walkways, or blocking of alleys.

Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the district or neighborhood.

Removing a historic building, building feature, or landscape or streetscape feature that is important in defining the overall historic character of the district or the neighborhood.

Although the work in these sections is quite often an important aspect of rehabilitation projects, it is usually not part of the overall process of preserving character-defining features (maintenance, repair, replacement); rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to obscure, radically change, damage, or destroy character-defining features in the process of rehabilitation work to meet new use requirements.

HEALTH AND SAFETY CODE REQUIREMENTS

As a part of the new use, it is often necessary to make modifications to a historic building so that it can comply with current health, safety and code requirements. Such work needs to be carefully planned and undertaken so that it does not result in a loss of character-defining spaces, features, and finishes.

Recommended

Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

Complying with health and safety code, including seismic codes and barrier-free access requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Working with local code officials to investigate alternative life safety measures or variances available under some codes so that alterations and additions to historic buildings can be avoided.

Providing barrier-free access through removable or portable, rather than permanent, ramps.

Providing seismic reinforcement to a historic building in a manner that avoids damaging the structural system and character-defining features.

Upgrading historic stairways and elevators to meet health and safety codes in a manner that assures their preservation, i.e., so that they are not damaged or obscured.

Installing sensitively designed fire suppression systems, such as a sprinkler system for wood frame mill buildings, instead of applying fire-resistant sheathing to character-defining features.

Applying fire-retardant coatings, such as intumescent paints, which expand during fire to add thermal protection to steel.

Adding a new stairway or elevator to meet health and safety codes in a manner that preserves adjacent character-defining features and spaces.

Placing a code-required stairway or elevator that cannot be accommodated within the historic building in a new exterior addition. Such an addition should be located at the rear of the building or on an inconspicuous side; and its size and scale limited in relationship to the historic building.

Not Recommended

Undertaking code-required alterations to a building or site before identifying those spaces, features, or finishes which are character-defining and must therefore be preserved.

Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

Making changes to historic buildings without first seeking alternatives to code requirements.

Installing permanent ramps that damage or diminish character-defining features.

Reinforcing a historic building using measures that damage or destroy character-defining structural and other features.

Damaging or obscuring historic stairways and elevators or altering adjacent spaces in the process of doing work to meet code requirements.

Covering character-defining wood features with fire-resistant sheathing which results in altering their visual appearance.

Using fire-retardant coatings if they damage or obscure character-defining features.

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding a new code-required stairway or elevator.

Constructing a new addition to accommodate code-required stairs and elevators on character-defining elevations highly visible from the street; or where it obscures, damages or destroys character-defining features.

ENERGY RETROFITTING

Some character-defining features of a historic building or site such as cupolas, shutters, transoms, skylights, sun rooms, porches, and plantings also play a secondary energy conserving role. Therefore, prior to retrofitting historic buildings to make them more energy efficient, the first step should always be to identify and evaluate the existing historic features to assess their inherent energy conserving potential. If it is determined that retrofitting measures are necessary, then such work needs to be carried out with particular care to insure that the building's historic character is preserved in the process of rehabilitation.

Recommended

Not Recommended

District/Neighborhood

Maintaining those existing landscape features which moderate the effects of the climate on the setting such as deciduous trees, evergreen wind-blocks, and lakes or ponds.

Stripping the setting of landscape features and landforms so that the effects of the wind, rain, and the sun result in accelerated deterioration of historic materials.

Building Site

Retaining plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks.

Removing plant materials, trees, and landscape features, so that they no longer perform passive solar energy functions.

Installing freestanding solar collectors in a manner that preserves the historic property's character-defining features.

Installing freestanding solar collectors that obscure, damage, or destroy historic landscape or archeological features.

Designing attached solar collectors, including solar greenhouses, so that the character-defining features of the property are preserved.

Locating solar collectors where they radically change the property's appearance; or damage or destroy character-defining features.

Masonry/Wood/Architectural Metals

Installing thermal insulation in attics and in unheated cellars and crawlspaces to increase the efficiency of the existing mechanical systems.

Applying urea of formaldehyde foam or any other thermal insulation with a water content into wall cavities in an attempt to reduce energy consumption.

Installing insulating material on the inside of masonry walls to increase energy efficiency where there is no character-defining interior moulding around the window or other interior architectural detailing.

Resurfacing historic building materials with more energy efficient but incompatible materials, such as covering historic masonry with exterior insulation.

Installing passive solar devices such as a glazed "trombe" wall on a rear or inconspicuous side of all the historic building.

Installing passive solar devices such as an attached glazed "trombe" wall on primary or other highly visible elevations; or where historic material must be removed or obscured.

Roofs

Placing solar collectors on noncharacter-defining roofs or roofs of nonhistoric adjacent buildings.

Placing solar collectors on roofs when such collectors change the historic roofline or obscure the relationship of the roof to character-defining roof features such as dormers, skylights, and chimneys.

Windows

Utilizing the inherent energy conserving features of a building by maintaining windows and louvered blinds in good operable condition for natural ventilation.

Removing historic shading devices rather than keeping them in an operable condition.

Improving thermal efficiency with weatherstripping, storm windows, caulking, interior shades, and, if historically appropriate, blinds and awnings.

Replacing historic multi-paned sash with new thermal sash utilizing false muntins.

Installing interior storm windows with airtight gaskets, ventilating holes, and/or removable clips to insure proper maintenance and to avoid condensation damage to historic windows.

Installing interior storm windows that allow moisture to accumulate and damage the window.

ENERGY RETROFITTING (continued)

Recommended

Installing exterior storm windows which do not damage or obscure the windows and frames.

Considering the use of lightly tinted glazing on non-character-defining elevations if other energy retrofitting alternatives are not possible.

Entrances and Porches

Utilizing the inherent energy conserving features of a building by maintaining porches, and double vestibule entrances in good condition so that they can retain heat or block the sun and provide natural ventilation.

Interior Features

Retaining historic interior shutters and transoms for their inherent energy conserving features.

New Additions to Historic Buildings

Placing new additions that have an energy conserving function such as a solar greenhouse on non-character-defining elevations.

Mechanical Systems

Installing thermal insulation in attics and in unheated cellars and crawlspaces to conserve energy.

Not Recommended

Installing new exterior storm windows which are inappropriate in size or color, which are inoperable.

Replacing windows or transoms with fixed thermal glazing or permitting windows and transoms to remain inoperable rather than utilizing them for their energy conserving potential.

Using tinted or reflective glazing on character-defining or other conspicuous elevations.

Enclosing porches located on character defining elevations to create passive solar collectors or airlock vestibules. Such enclosures can destroy the historic appearance of the building.

Removing historic interior features which play a secondary energy conserving role.

Installing new additions such as multistory solar greenhouse additions which obscure, damage, destroy character-defining features.

Apply urea formaldehyde foam or any other thermal insulation with a water content or that may collect moisture into wall cavities.

Recommended

Installing exterior storm windows which do not damage or obscure the windows and frames.

Considering the use of lightly tinted glazing on non-character-defining elevations if other energy retrofitting alternatives are not possible.

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Apply urea formaldehyde foam or any other thermal insulation with a water content or that may collect moisture into wall cavities.

**TOWN OF NEW CASTLE, COLORADO
ORDINANCE NO. 2001-5
SERIES OF 2001**

AN ORDINANCE OF THE TOWN OF NEW CASTLE, COLORADO AMENDING
THE REGULATIONS FOR THE C-1 COMMERCIAL ZONE DISTRICT.

WHEREAS, Town Ordinance 261, Sec. 15.02.020, amended by Ordinances 337, 341, 399, and 435, established regulations for the C-1 Commercial Zone District within the Town of New Castle ("Regulations"), which are codified in the draft Municipal Code at Section 13-04-080; and

WHEREAS, the Town's goal within the C-1 Commercial Zone District, as stated in the existing Regulations, is to retain historical characteristics of the downtown business area by preserving existing structures constructed prior to the year 1930; and

WHEREAS, in the Town of New Castle Land Use Plan, adopted in June 1982, the Town established a goal of adopting design guidelines for the downtown, including the identification of important architectural lines, key buildings, to be preserved, and style of signs; and

WHEREAS, the Town Council of the Town of New Castle has determined that the Regulations currently in effect do not serve these goals as effectively as they might; and

WHEREAS, on January 10, 2001, the Town Planning Commission held a duly-noticed public hearing regarding proposed changes to the Regulations, which public hearing was continued from time to time, including February 28, 2001; and

WHEREAS, following the hearing on February 28, 2001, the Planning Commission recommended that the Town Council repeal and re-enact portions of the Regulations as set forth below; and

WHEREAS, Section 13-02-080(A) of the Town Code provides that the Town Council may, from time to time, on its own motion or on application of the Planning Commission, amend, supplement, or repeal the regulations and provisions of Title 13 of the Town Code; and

WHEREAS, the Town Council finds and determines that the provisions of this Ordinance are necessary to protect and enhance the public safety, health, and welfare of the citizens of New Castle and wishes to amend Title 13 of the Town Code as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF NEW CASTLE, COLORADO, THAT:

1. The foregoing recitals are incorporated by reference as findings and determinations of the Town Council.

2. Section 13-04-080 of the draft Town of New Castle Municipal Code is hereby repealed in its entirety and replaced with the following Sections 13-04-080, 13-04-085 and 13-04-086. True and correct copies of all Figures referenced in the following Sections have been deposited with the Town Clerk and are available for public inspection at the Clerk's office.

13-04-080 C-1 Commercial District

The C-1 Commercial Zone District shall be governed in conformity with the following regulations:

(A) Description. The C-1 District pertains to the present downtown business area lying easterly of Elk Creek, westerly of First Street and Mattivi Avenue, northerly of the Denver and Rio Grande Western Railroad right-of-way, and southerly of the centerline of the east-west alley lying north of Main Street, all within the original townsite of New Castle.

(B) Goals. The Town's goals within the C-1 District are to retain historical characteristics of the downtown business area by preserving existing structures constructed prior to the year 1930. Remodeling and construction is encouraged to reflect the goals of the Zone District; to enhance the Town's attraction to residents, tourists, and visitors; to serve as a support and stimulus to business and industry; to reflect a pedestrian orientation; and to enhance property values.

(C) Permitted Uses. Any of the following uses are permitted when occurring on a lot or lots with a total area of 10,000 square feet or less, provided the following requirements are complied with:

- All fabrication, service and repair operations are conducted within a building;
- All storage of materials shall be within a building or obscured by a fence of at least six feet in height;

- Storage areas shall be restricted to the rear 25 feet of the lot(s); and
- No dust, noise, glare or vibration is projected beyond the lot(s).

(1) Retail establishments for the trade and sales of the following goods and materials:

- (a) Antiques
- (b) Appliances
- (c) Art and art supplies
- (d) Automotive parts, new
- (e) Bakery and doughnut shop
- (f) Beverages
- (g) Books, magazines, newspapers
- (h) Café, coffee shop
- (i) Clothing
- (j) Dry goods
- (k) Feed and pet supplies
- (l) Food
- (m) Furniture
- (n) Garden supply and plants
- (o) Groceries
- (p) Hardware, general and specialty
- (q) Jewelry
- (r) Office materials and supply

(2) Personal service establishment, including:

- (a) Art gallery
- (b) Automatic laundry/laundromat for individual use
- (c) Bank
- (d) Barber, beauty shop
- (e) Indoor recreation
- (f) Indoor theater

(g) Laundry or dry cleaning station for individual pick-up only

(h) Medical/health clinic limited to human out-patient services with floor area of no more than 2,000 square feet

(i) Office for the conduct of a business or profession

(j) Pharmacy

(k) Photography supply, studio

(l) Printing shop

(m) Private club

(n) Reading room

(o) Real estate sales office

(p) Restaurant, with or without a bar

(q) Shoe repair

(r) Studio for the conduct of arts and crafts instruction

(s) Tailor shop

(t) Tavern

(u) Travel agency

(3) **Residential:** one (1) residential dwelling unit when located on a floor above the ground floor of the commercial use building, or, when located on a ground floor and within the rear 40 feet of a lot, within a commercial use building.

(D) Conditional Uses.

(1) Any of the uses permitted as listed in Paragraphs (C)(1), (C)(2), and (C)(3) above when occurring on a lot or lots with a total area of greater than 10,000 square feet.

(2) Any use listed under Permitted Uses above which use is to be a drive-in establishment or facility where the customer receives goods or services while occupying a vehicle.

(E) Special Review Uses. The following uses may be allowed when reviewed under the provisions of the Special Review/Conditional Use Section of this Title:

(1) Auditorium, public or private

(2) Automobile service station, with or without minor repairs

(3) Automobile, small truck, trailer rental facility

(4) Automobile washing facility

(5) Church, or facility for any recognized established religion

(6) Community building operated by the public

(7) Day care facility for children under 13 years of age

(8) Educational facility, public or private

(9) Emergency response, public safety facility

(10) Facility for treatment, storage and disposal of wastewater

(11) Facility for treatment, storage and distribution of drinking water

(12) Fraternal lodge

(13) Hotel, motel

(14) Household appliance repair

(15) Library, public or private

(16) Medical/health clinic limited to human out-patient services with floor area of greater than 2,000 square feet

(17) Mobile vending carts or stands

(18) Mortuary

(19) Municipal shop facility, for maintenance, repair and storage of equipment and materials for municipal services

(20) Museum, public or private

(21) Parking lot or garage as principal use of the lot

(22) Public building for the administration of government

(23) Residential apartment building

(24) Residential single family detached building occupying no more than 1,200 square feet of land area

(25) Rooming and boarding house facility

(26) Small engine repair and sales shop

(27) Taxidermy shop

(28) Temporary building to be used to conduct a permitted use

(29) Utility substation, electric or gas, public or private

(30) Veterinary clinic limited to small animal out-patient services, not including kennel

(F) Uses Not Listed. Uses not listed herein under any category of the C-1 Commercial Zone District may be added to such use category when found to be compatible with uses as listed under such categories upon review and findings by the Town Planning and Zoning Commission and upon approval by the Town Council; such action may be conducted at any official public meeting of the Commission or the Council.

(G) Site Use Standards.

(1) Minimum Lot Area:

(a) Residential, when allowed by Special Review:

(i) Single family detached unit: 2,500 square feet per unit

(ii) Multi-family attached units: 2,000 square feet per unit

(b) Commercial: 2,500 square feet, with or without a ground floor residential dwelling unit

(2) Minimum Floor Area:

(a) Residential, when allowed by Special Review:

(i) Single and multi-family building: 800 square feet per dwelling

(ii) Multi-family building with 2nd story: 600 square feet per dwelling unit

(b) Commercial:

(i) 1,000 square feet

(ii) First or second floor residential unit: 600 square feet

(3) Minimum Setbacks:

	<u>Detached Residential</u>	<u>Commercial</u>
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(a) Front:	10 feet	0 feet
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(b) Side:	5 feet	0 feet
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(c) Rear:	24 feet	5 feet
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(d) Accessory rear:	10 feet	10 feet
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(4) Maximum Building Height and Stories (basement excluded):

(a) Detached Residential: 32 feet, 2 stories

(b) Commercial: 36 feet, 2 stories

(5) Maintenance Easements: an easement of at least 2 ½ feet in width for allowing access to the side of a building or structure for maintenance purposes shall be established along each side lot line where or when no building or structure exists within 2 ½ feet of and along any side lot line.

(6) Off-Street Parking: a minimum of 2 vehicular parking spaces shall be provided for every 25 feet of frontage on Main Street, per floor of building (i.e., 2 parking spaces for a 1-story building, 4 parking spaces for a 2-story building) excluding finished basement.

(H) Pre-Existing and Non-Conforming Uses.

(1) **Residential:** refer to R-1 Residential District, Section 15.02.020, Ordinance Number 261

(2) **Commercial uses:** established prior to the adoption of this Title shall not be affected except:

(a) When a non-conforming use has changed to a conforming use;

(b) When a non-conforming use is discontinued for a period of six months; or

(c) When a non-conforming building is dismantled, removed, demolished or condemned.

(I) Standards for Design and Construction.

Except as otherwise provided herein, any land surface and any work or improvements upon any real property within this C-1 Commercial Zone District shall be erected, removed, restored, altered or demolished in such a manner so as to maintain, protect and compliment the historic character and qualities of buildings, structures and properties. In order to attain the Goals as set forth in Section 13-04-080(B), all such work and improvements to be erected, removed, restored, altered or demolished, whether or not a Town Building Permit is otherwise required for such work by separate Town Ordinances, shall be reviewed by the Town Building Official and the Town Planner to certify whether or not such proposed work is in compliance with all applicable procedures, standards and guidelines including those as are set forth herein.

All construction is subject to the Town's Building Code. All exterior work proposed, whether or not a Town Building Permit is

required, shall be referred by the Town Building Official to the Town Planner to determine compliance with the provisions of this Sub-Section.

(1) Remodeling and restoration improvements to pre-existing and/or non-conforming structures are encouraged and shall not affect their existing uses as described above. Exterior remodeling and improvements shall blend with the existing structure and surrounding neighborhood with the effect to retain and restore the District's historical characteristics.

(2) New additions to existing structures shall meet the setback requirements of this District. The exterior shall blend with the existing structure.

(3) New construction within this C-1 District shall be designed in relation to the historical characteristics of the District, so that the exterior features of such construction shall blend with the historical characteristics as established herein.

(4) Non-permitted materials for exterior finish are logs, exposed metals or materials of gloss finish, or vinyl-finish siding on non-residential buildings.

(J) Administration and Procedures for Approval of Work.

Any person proposing to do any work as described in this Sub-Section shall be required to obtain the required review and approvals as set forth in this Sub-Section by obtaining a Certificate of Compliance with District Historical Characteristics from the Town Planner.

(1) Procedures.

(a) For work that requires a Town Building Permit, the Building Official shall be

assured that the plans submitted, and that the subsequent work done, are in compliance with the provisions of this Sub-Section.

(b) All construction shall provide an architectural sketch plan of the building to accompany the building permit application and data describing the proposed construction to the office of the Town Clerk prior to issuance of a building permit.

(c) For work whether or not requiring a Town Building Permit, a Certificate of Compliance shall be obtained from the Town Planner prior to the commencement of any such work within the District. The proponent of any such work shall submit an Application for a Certificate of Compliance to the Town Planner and provide such plans, to include building elevations, site plans, specifications, drawings and descriptions so as to allow a determination of compliance with the provisions of this Sub-Section, which Application and plans shall immediately be referred to the Town Planner.

(d) Within 7 working days after receiving the Application for a Certificate of Compliance, the Town Planner shall issue the Certificate, deny it for reasons of non-compliance, or approve it with modifications agreed to by the applicant.

(e) The Building Official and the Town Planner will endeavor to provide such information and assistance to the applicant as is available to the Town to attain compliance with the provisions of this Sub-Section.

(f) There shall be no fees charged by the Town to an applicant for the review or approval of an Application for a Certificate of Compliance, except for any formal appeals made in accordance with other provisions of the ordinances of the Town.

(2) Denial of a Building Permit or Certificate of Compliance.

(a) If the proposed work is found by the Building Official or the Town Planner to be not in compliance with the provisions of this Sub-Section, he shall immediately notify the applicant in writing of the specific reasons for such denial.

(b) In the case of a denial of the Certificate of Compliance required by this Sub-Section, the Building Official shall not issue the Building Permit for the proposed work unless and until such Certificate is issued.

(c) Appeal of a denial of a Building Permit or a Certificate of Compliance shall be to the Board of Zoning Adjustment, and shall be processed in accordance with Chapter 15.08 of Town Ordinance 261. Failure to file an appeal within the time limit specified in Section 15.08.030 of Town Ordinance 261 shall waive any further rights to appeal such denial.

(K) General Standards. All work regarding the exterior visible appearance of any building or structure including new buildings or structures, or the alteration or repair of existing buildings or structures, shall be of such a design and employment of materials so as to appear similar to existing District historic buildings or structures constructed prior to 1930, or so as to maintain the historic character and appearance of the existing building or structure. For purposes of this Section, structures shall include buildings, stairways, walls, fences, sheds, porches, roofs, awnings, and walkways.

(1) Existing buildings and structures shall:

(a) Retain the design and exterior appearance of the original structure.

(b) Utilize materials as used on the original structure as closely as practicable.

(2) Roofs of existing buildings and structures shall:

(a) Retain the design and appearance of the original building or structure to the extent practicable.

(b) Utilize only new materials that closely resemble original materials used on the existing building or structure.

(3) Materials of new buildings and structures:

(a) Materials, including wood, masonry, siding, trim, and glazing, shall be of similar materials as observed or utilized on nearby historic structures and buildings prior to the year 1930.

(b) Wood siding or other types of siding shall be applied only to the level and horizontal, or to the perpendicular and vertical to the horizontal.

(c) The exposed width of siding boards shall not exceed 6 inches.

(d) Simulated wood siding may be used if made of tough durable materials.

(e) Simulated masonry siding, or logs shall not be used.

(f) Design, style and application of materials must employ or retain the

appearance of existing nearby historic buildings and structures.

(g) Windows shall be of appearance and design similar to nearby historic buildings and structures. For separate residential buildings, no less than 80% of the total number of windows in the structure shall have the vertical dimension at least 25% greater than the horizontal dimension. For purposes of this subsection, each individual window frame shall be considered a single window, although several windows may be mulled together and delivered or installed as a unit.

(4) Roofs of separate residential buildings and structures shall:

(a) Be of a pitch from a ridge or peak of not less than 6.5 feet in 12 feet on all roof sloping surfaces, except that porch or accessory shed roofs may have a slope of a lesser or greater pitch; and

(b) Not have any face or surface of more than 40 feet in any dimension without articulation or a feature to add surfaces of different angles or pitch; and

(c) Be of design and materials as are presently utilized and observed in nearby historic buildings in the District; and

(d) Not have materials that include clay tiles, natural or simulated, or other materials not utilized or observed on nearby historic buildings in the District.

13-04-085 C-1 Commercial Zone District Building Design Standards

(A) General Intent and Purpose. The intent and purpose of these standards is to ensure that infill and redevelopment in the established C-1 District:

(1) Maintains and protects the historic resources;

(2) Is compatible with surrounding land uses;

(3) Enhances the existing small town character;

(4) Improves the overall image of downtown; and

(5) Is consistent with the goals and policies of the Downtown Plan, as described in the Town of New Castle Land Use Plan, adopted in June 1982.

(B) Applicability. The Design Standards will apply to all uses in the C-1 zone including single and multi-family developments, as well as non-residential uses, such as office, commercial and retail within the District, as defined in the District Map.

(C) General. These Design Standards shall be applied in the normal review processes for zoning ordinances, building additions, renovations, and new construction in the form of approved site plans or development plans, as applicable.

(D) Review Criteria. In addition to the review criteria specified for each type of development application in Town Ordinances, Application and Review Procedures, each rezoning or development plan shall evidence compliance with these Design Standards.

(E) Definitions. As used in this Section and Section 13-04-086, the following terms shall mean:

(1) ***Infill and Redevelopment*** shall mean development on property located within the

District that is (1) proposed for a vacant or substantially vacant tract of land surrounded by existing development, or (2) proposed for a tract of land with existing structures where all or most of the existing structures would be razed and a new structure or structures built.

(2) ***Standards*** shall mean mandatory regulations. Standards are indicated by use of the terms shall and must.

(3) ***Maximum Extent Feasible*** shall mean that no feasible and prudent alternative exists, and all possible efforts to comply with the regulation or minimize adverse impacts have been undertaken. Economic considerations may be taken into account but shall not be the overriding factor in determining maximum extent feasible.

(4) ***Orient*** shall mean to bring in relation to, or adjust to, the surroundings, situation, or environment; to place with the most important parts facing in certain directions; to set or arrange in a determinate position; to orient a building.

(5) ***Commercial Development*** shall mean any development activity except development activity intended solely for residential use.

(6) ***Pedestrian-Oriented Development*** shall mean development that is designed with a primary emphasis on the street, sidewalk and/or connecting walkway access to the site and building, rather than on auto access and parking lots. In pedestrian-oriented developments, buildings are typically placed relatively close to the street and the main entrance is oriented to the Street sidewalk or walkway. Although parking areas may be provided, they are not emphasized in the design of the site.

(7) ***Office*** shall mean an office for professionals such as physicians, dentists, lawyers, architects, engineers, artists,

musicians, designers, teachers, accountants, and others who through training are qualified to perform services of a professional nature and where no storage or sale of merchandise exists.

(8) *Civic Use* shall mean any use intended to be conducted in a facility or upon land that is owned or operated for public use by school districts or by a town, county, state, or federal government.

(9) *Mixed-Use Development* shall mean the development of a lot, tract or parcel of land, building or structure with 2 or more different uses including, but not limited to, residential, office, retail, public uses, personal service or entertainment uses, designed, planned and constructed as a unit.

(10) *Multi-family Development* shall mean a structure or part thereof designed exclusively for occupancy by 2 or more families and commonly referred to as a duplex (two-family dwelling), triplex, four-plex, townhouse, or apartment house.

(11) *Contributing* shall mean a property adds to the historic architectural qualities, historic associations or archaeological values for which the District is significant because: 1) it was present during a period of significance and possesses historic integrity reflected in its character at that time or it is capable of yielding important information about the period; and 2) it independently meets the National Register criteria set forth in the Standards for Rehabilitation and Guidelines of Rehabilitating Historic Buildings, a section of the Secretary of the Interior's Standards for Historic Preservation Projects, revised in 1990 as part of Department of the Interior Regulations (36 CFR Part 67, Historic Preservation Certifications) and available from the U.S. Government Printing Office, Superintendent of Documents, Mail Stop: SSOP, Washington, DC 20402-9328.

(12) *Non-Contributing* shall mean a property does not add to historic architectural qualities, historic associations, or archaeological values, usually because of alterations, additions or other changes. If the property no longer possesses integrity reflecting its character at the time or is incapable of yielding information about the period, then it is considered "non-contributing". Many buildings are rated "non-contributing" simply because the building was constructed less than 50 years before the present time.

(F) Site Layout/Development Pattern.

(1) *Intent.* A sense of visual unity of the District is established with the repeating of existing similar building features. The relatively uniform alignment of commercial structures along Main Street is an example of a repeated feature. The pattern of the visual unity of consistent setbacks and building orientation must be maintained.

(2) *Design Standards.*

(a) New structures shall respond to the current historic building setbacks and orientation of the surrounding structures on the block.

(b) New construction and walls shall be built parallel to lot lines to reflect the historical orientation of non-residential structures. Structures shall not be oriented at other than right angles to lot lines.

(c) The tradition of building commercial and other non-residential structures aligned flush with the sidewalk or property line shall be maintained. A minimum of 80% of the building edge shall be located adjacent to the street edge. (Example: Figure 1)

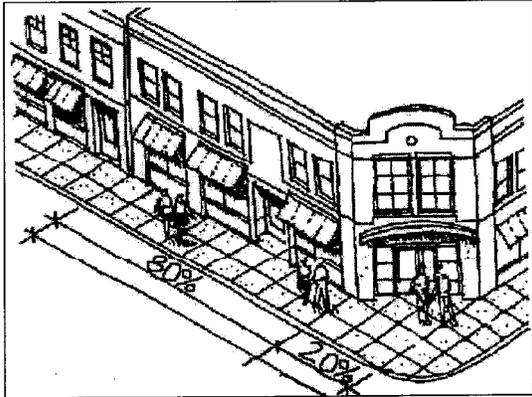


Figure 1-Street frontage should be primarily dedicated to storefront uses. A corner site may orient its primary entry towards the corner for emphasis as above.

(d) On corner lots, structures shall not be set back from the sidewalk edge. A corner entry door may be provided at a 45-degree angle and a width not greater than 12 feet. (Example: Figure 2)

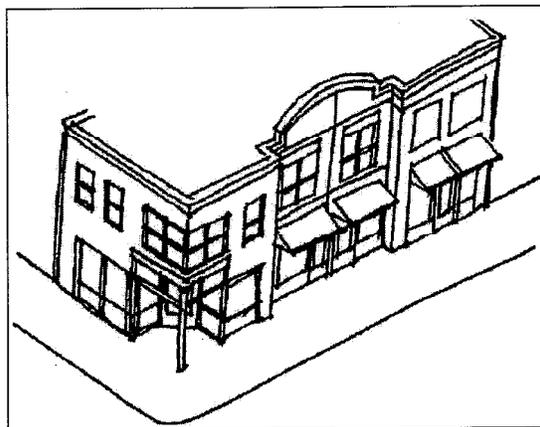


Figure 2- Aligning front walls of a new structure flush with the sidewalk edge creates a consistent visual line along the street.

(e) Orient the structure's primary façade to the street, not to an interior court.

(i) At corners, a primary façade shall face the major street or the corner; a lesser façade shall face the cross street.

(ii) When designing courtyards, a minimal amount of street frontage shall be utilized. Courtyards shall not extend across the entire front of the property. Instead, a building shall be located flush with the property line on the street side.

(f) Clearly identify the primary entrances to a building.

(i) Locate the primary entrance facing the street. When a structure is located on a corner lot, prominent entries shall be designed for both facades along the street edge or a single prominent entry shall be designed to face the corner.

(ii) The building entrance shall appear similar in scale and character to those used historically.

(g) Density of infill and redevelopment projects shall be maximized within current standards to provide the greatest opportunity for mixed-use, pedestrian-oriented development.

(G) Building Height/Scale/Massing/Form.

(1) *Intent.* Continuity in heights of historic buildings shall be maintained for preservation of the historic character of the District. In order to maintain the historic character of the District, infill and redevelopment projects shall utilize building footprints and heights similar to those found on the same block.

(2) Design Standards.

(a) Building massing shall respect the existing neighborhood scale, especially along the lot edge that abuts existing residential development and along the street edge.

(i) The primary mass of a structure shall include secondary projections that reduce apparent scale, increase visual interest and promote compatibility with adjacent properties.

(ii) Structures directly adjacent to residential zone districts shall “step-down” in height on the abutting edge to match the height of the adjacent structure.

(b) New structures shall reinforce historic building front width pattern or spacing of façade bays. (Example: Figure 3)

Storefront type development shall typically be differentiated every 25 feet along the block. This will help preserve the “rhythm” of building facades that contributes to the visual continuity of the street and help create variation in the façade of a larger building.

(c) Structures shall be divided into modules reflecting traditional building widths.

Prominent civic and in some cases office structures may vary in front width and shall be reviewed on an individual basis for compatibility.

(d) The appearance of floors of new buildings shall appear to be similar in height to those of existing historic buildings in the District. (Example: Figure 3)

(i) The level of first floor shall be at or near grade level at the entrance.

(ii) The first floor shall appear to be a full floor in height.

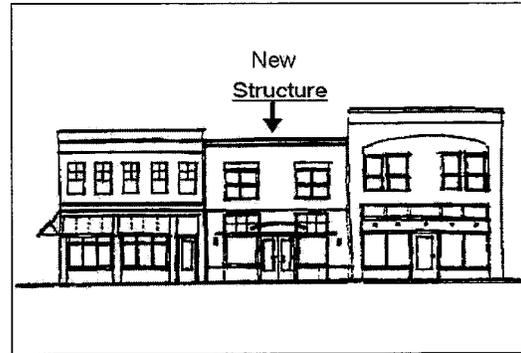


Figure 3-Second story floors of new structure visually align with those of adjacent existing structures creating a consistent appearance for the street.

(e) The alignment of horizontal elements along the block face, including building cornices, shall be maintained.

Windowsills, moldings, and cornices are types of building elements that shall be aligned.

(H) Surface Parking, Loading, and Service Areas.

(1) *Intent.* A pedestrian safe condition of the District is to be developed and maintained, enhancing the economic health of the area. To protect this condition, the visual and operational impacts of surface parking, loading and other auto-oriented service areas on surrounding uses shall be minimized.

(2) Design Standards.

(a) Parking orientation shall minimize visual and noise impacts on adjacent properties. To the maximum extent feasible, parking shall be located behind or to the side of a structure. (Example: Figure 4)

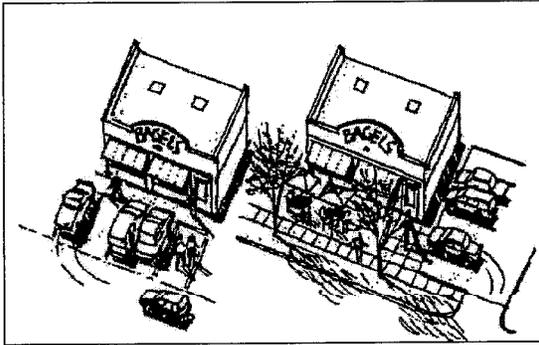


Figure 4- To the maximum extent feasible, parking should be located to the side or rear of a building.

(b) All parking lots adjacent to a street edge shall be screened using plant material, walls, and/or fencing. (Example: Figure 5)

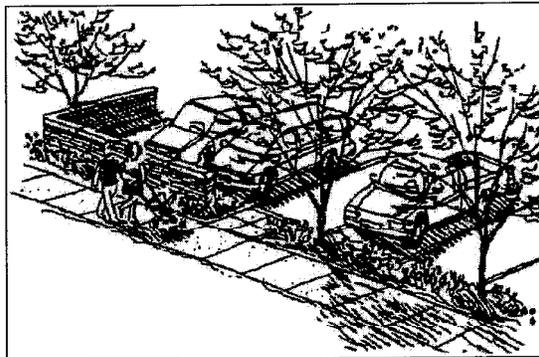


Figure 5-Parking lots should be screened using plant material, walls, and/or fencing at the street edge.

(i) Low water or native plant materials typically found within environs adjacent to the Town shall be used to provide buffers between sidewalk and edge of parking.

(ii) Use of smooth-finish walls shall include plant materials to buffer and soften their appearance.

(c) Interior parking lot landscaping shall be used to break up the appearance of

parking lots and to provide shaded parking. (Example: Figure 6)

(i) For parking lots with 10 or more spaces, one deciduous shade tree shall be planted in the interior of the lot for every 10 spaces.

(ii) Shade trees shall be located within curbed, planted medians and/or islands to provide spatial definition.

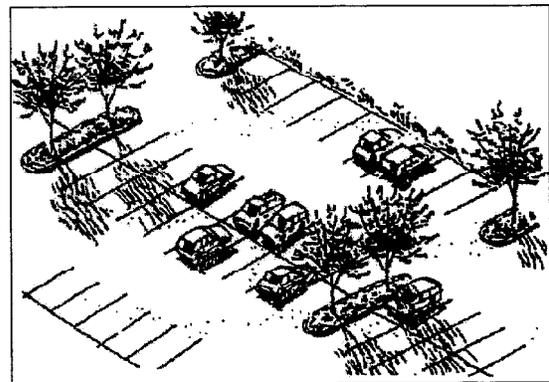


Figure 6-Landscaped islands break up the visual monotony of parking areas and provide shade.

(d) Loading and unloading of materials in streets.

(i) The use of alleys for loading and unloading is preferable to the use of streets. To the maximum extent feasible, loading areas shall be located on private property away from the front of the building.

(ii) Commercial off-street parking or loading areas shall not be permitted or allowed adjacent to Residential Zone Districts.

(iii) Parking shall be located in the rear of lots to the maximum extent feasible, reserving the street frontage for commercial uses.

(I) Vehicular and Pedestrian Access.

(1) *Intent.* Heavy automobile traffic along Main Street compromises the safety and comfort of pedestrians in the District and shall be mitigated to the maximum extent feasible. Clearly defined auto and pedestrian zones shall provide safety and mobility for both modes of travel and encourage pedestrian commercial activity in the District.

(2) *Design Standards.*

(a) Established street and sidewalk patterns shall be incorporated within the site plan of any infill or redevelopment project. Sidewalks shall remain consistent in width to an abutting sidewalk edge.

(b) A continuous pedestrian pathway surface shall be provided to encourage pedestrian activity within the District.

In areas of high pedestrian activity, public street crossings shall be marked with a change in paving materials, such as a high contrast brick or cobble.

(c) Space for a buffer between sidewalks and moving traffic shall be allocated to enhance pedestrian comfort and safety. Existing areas in the District where space may be allocated for this purpose typically range from 4' to 6' in width from curb to sidewalk edge.

(i) Buffers shall be achieved through the use of on-street parallel parking, street furniture, a landscape buffer, a change in paving materials, or some combination of two or more of these elements.

(ii) Brick pavers, in combination with street trees shall be used as a buffer in

and around the District, providing a consistent visual appearance and a comfortable environment for pedestrians.

(J) Architectural Details.

(1) *Intent.* Prominent, street-oriented doorways, awnings and large glass storefront windows are historical building features that shall be maintained and provided as they add visual interest to the street. The downtown District shall continue to develop as a pedestrian-oriented environment. Streets, sidewalks, and alleys shall enhance walking, sitting, and other outdoor activities. Existing pedestrian routes shall be enhanced. Buildings shall express human scale through materials and forms that were seen and used traditionally. The use of rooflines similar to those historically known in the District also contributes to the area's character and shall be maintained to create a visually unified appearance for the District.

(2) *Design Standards.*

(a) Do not use or add non-historic details to buildings.

(i) Use ornamental details with restraint.

(ii) Historic details that were not used in the neighborhood are not appropriate and shall not be used.

(b) Contemporary interpretations of historic styles may be utilized for new buildings in the District. (Example: Figure 7)

(i) A new design that draws upon the fundamental similarities among historic buildings in the community (without copying them) is required. New structures may be seen as products of their own time yet compatible with their historic neighbors.

(ii) New designs for window moldings and door surrounds, or porch railings and columns, for example, can provide visual interest while helping to convey the fact that the building is new.

(iii) New, soffit details and dormer designs also may be used to create interest while expressing a new, compatible style.

(iv) Generally, the imitation of older historic styles may also be considered to attain compatibility with the historically authentic styles of the District.

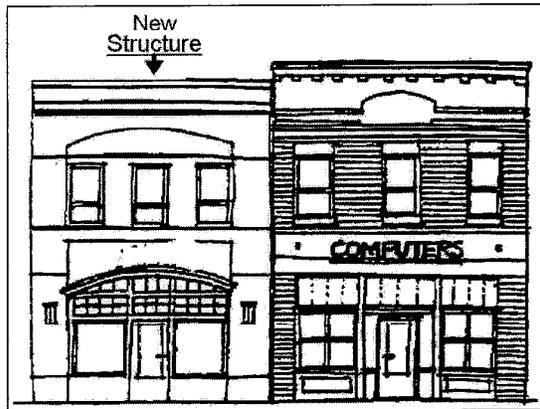


Figure 7- The new structure on the left uses similar, but less ornate building ornamentation and proportion to create a modern interpretation of a historic style.

(c) The ground floor of a project shall be developed to encourage pedestrian activity by providing at least one of the following along primary pedestrian ways:

(i) Design and develop a storefront, display cases, public art, landscaping, or decorative wall surfaces.

(ii) Include traditional elements such as display windows, kickplates and transoms on commercial storefronts.

(iii) Avoid a blank wall or vacant lot appearance.

(d) A new commercial storefront building shall incorporate these character-defining elements (Example: Figure 11):

(i) Display windows: The main portion of glass on the storefront, where goods and services are displayed.

(ii) Transom: The upper portion of the display, separated from the main display window by a frame.

(iii) Kickplate: Found beneath the display window. Sometimes called a bulkhead panel.

(iv) Entry: Usually set back from the sidewalk in a protected recess.

(v) Upper story windows: Windows located above the street level. These usually have a vertical orientation, and appear to be less transparent than the large expanse of glass in the storefront below.

(e) The distinction between the street level and the upper floor shall be maintained. (Example: Figure 8)

(i) The first floor of the primary façade shall be predominantly transparent glass.

(ii) Upper floors may be more opaque than the lower floor.

(iii) Highly reflective or darkly tinted glass is inappropriate and shall not be utilized.

(iv) The traditional distinction in floor heights between street levels and upper levels through detailing, materials and fenestration shall be maintained.

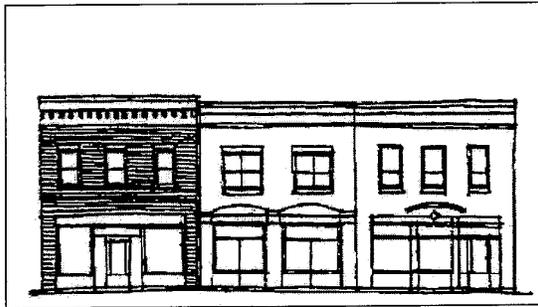


Figure 8 - Upper stories of commercial structures should appear more solid than the transparent glass storefronts found at the street level.

(f) Primary building entrance shall be recessed.

(i) Doors that are flush with the sidewalk shall be avoided for the safety of pedestrians.

(ii) Doors shall have large areas of glass.

(iii) Use of accent color on the door is encouraged to help lead the pedestrian inside.

(g) The primary roof form shall appear to be flat, as traditionally found on District commercial structures. (Example: Figure 9)

(i) A parapet shall conceal roofs.

(ii) "Exotic" roof forms, including mansards, domes and extreme angles, shall not be allowed.

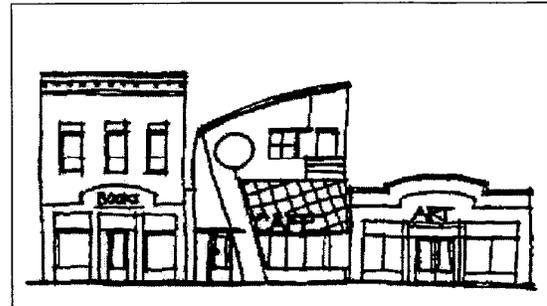


Figure 9 - Exotic roof forms such as the dramatic curves found on the above center building are not appropriate in the Downtown District.

(h) Upper story windows shall have a vertical emphasis, in similar proportions to those traditionally found on historic commercial structures in the District.

(i) Awnings, where utilized, shall be of fabric material. (Example: Figure 10)

(i) Awnings shall be canvas with a matte finish. Awnings with high gloss finishes were not historically found in the downtown and shall not be used.

(ii) Operable awnings are required, except rigid frame awnings may be allowed, but shall stop at the top section and shall not be included in the valance.

(iii) Illuminated, plastic awnings are not appropriate for the downtown and shall not be allowed.

(iv) Awning colors shall be compatible with the overall color scheme of the façade. Solid colors or subtle striped patterns shall be used.

(v) Awnings for rectangular openings shall be simple, shed shapes.

(vi) Awnings shall not be used to create arches.



Figure 10-Fabric awnings are encouraged for downtown storefronts.

(j) Glass transoms shall be used above display windows. These bands of glass shall be located at the same building height along a block to reinforce the sense of visual continuity for the street and introduce light into the depths of a building.

(k) Cornices and parapets shall be repeated on the façade where appropriate to provide a continuous visual line along the block.

(i) Parapets and cornices are examples of decorative elements found on historic commercial buildings in the District to be maintained.

(ii) Prudent and moderate emphasis of detail with accent colors is appropriate and permitted.

(l) Featureless backs of buildings shall not be located facing Interstate 70 or adjacent residential neighborhoods. Features on backs

of buildings facing Interstate 70 or adjacent residential neighborhoods shall not include signs of any type.

To attain and attract active uses in this area, all design standards applicable to street frontage structures shall also be applicable to the back of a building in this area.

(K) Building Materials and Colors.

(1) *Intent.* New structures shall utilize historically similar materials and colors to maintain a unified character for the District.

(2) *Design Standards.*

(a) Colors that enhance the natural colors of the building materials shall be used in developing an overall color scheme.

(b) Primary materials should be similar in character to those used traditionally on downtown commercial structures.

(i) Only brick and masonry of durable quality, color and texture as traditionally found on historic structures in the District shall be used. New materials shall demonstrate similar durability.

(ii) Diagonal siding shall not be used.

(iii) Concrete block is acceptable for side and rear walls, but shall not be used as an exposed material.

(c) Accent materials shall be similar to those used historically.

Wood was traditionally used for trim elements on commercial storefronts while stone, brick and painted metal were used in detailing.

(d) Glass used in windows shall appear similar to that used historically.

(i) Only transparent, clear glass shall be used.

(ii) Opaque, tinted, and mirrored glass detracts from pedestrian interest at the street level and shall not be used.

(L) Mechanical and Electrical Equipment

(1) *Intent.* Mechanical and utility equipment systems shall not detract from the historic character of the District. This character is a key element of the District's appeal and efforts shall be taken to minimize the visual impacts of mechanical and utility systems on surrounding development.

(2) Design Standards.

(a) Ground mounted electrical and mechanical equipment shall be screened from public view using opaque fencing, walls or a combination of fencing or walls and planting.

(i) Materials for screening purposes shall be wood, masonry, or split face concrete block.

(ii) Chain link fencing may be used in rear service areas and shall be vinyl-coated black or brown and used in conjunction with tightly spaced plant material to create a visual screen.

(b) Mechanical/utility screening shall be integrated as part of the building structure and architecture and not appear "tacked on" to the exterior surfaces of the structure. All mechanical, electrical, and communications equipment including but not limited to air-conditioning, heating and soft water tanks, television antennas, satellite dishes, security

apparatus, transformers, electric and gas meters, must be integrated into the building design, screened from public view, or enclosed in a suitable accessory structure, when appropriate.

(c) Roof top mechanical equipment shall be painted to match roof color only if parapet walls or other means of screening are not reasonably feasible within the bounds of a project.

(M) Lighting.

(1) *Intent.* Lighting has historically been used in the District to accent important building features, displays, or entries. In addition to the positive cosmetic effects, the presence of multiple light sources along a street frontage increases security and safety, encouraging nighttime pedestrian activity. Care shall be taken to provide adequate lighting in all downtown commercial areas.

(2) Design Standards.

(a) Lighting shall be used as it was used historically in the District.

(i) Low-scale, decorative lighting shall be used to accent architectural details, building entries, or signs. Additional, pedestrian-scaled lighting shall be provided to illuminate sidewalks, enhancing security and extending hours of activity.

(ii) All light sources shall be shielded.

(iii) Lights shall not be focused upward to light the façade or used to dominate a façade or the street.

(iv) Neon lighting may be used, but shall not be used to internally light a sign.

(v) Animated lighting, such as chase lights, shall not be used.

(N) Signage.

(1) *Intent.* Signage in the District shall respect the historic character and pedestrian scale of the District. Signs in the District mostly were basic painted panels with simple type styles, where in later years, an indirect light source was typical. These historic sign characteristics shall be continued.

(2) *Design Standards.*

(a) A sign shall be less prominent than the overall building composition.

(b) Signs shall be in character with the material, color and detail of the historic context of the Commercial District.

(i) Highly reflective materials shall not be used for signs.

(ii) Painted wood and metal are appropriate and are permitted for signs.

(iii) Unpainted wood and other unfinished materials detract from the historic character and do not weather well.

(c) Signs shall be lit by an indirect source.

(i) Internally lit signs are not permitted.

(ii) Signs shall be lit by an external, shielded lamp directed at the sign.

(iii) Signs located on a historic structure shall not be directly illuminated.

(d) Signs mounted on building façades are to be used on commercial buildings in the District.

(i) Wall signs shall align with others on the block.

(ii) Flush-mounted signs shall be limited to one per distinct façade module.

(iii) One sign may be placed to extend over a sidewalk from a building front or business entry way, in conformance with the Town Sign Code, to identify each business located within the building upon which such sign is to be attached.

(iv) Signs attached to a building shall be of the same size and scale as a front transom panel on the same building.

13-04-086 Preservation of Historic Commercial Structures in C-1 Commercial Zone District

(A) Objectives.

The preservation of buildings shall minimize intervention in the historic building fabric. In the treatment of a historic building, to the maximum extent feasible, preserve those features that remain in good condition.

(B) Doors and Windows.

(1) *Intent.* The character-defining features of historic windows and doors and their distinctive arrangement on a wall shall be preserved. In addition, new windows and doors shall be in character with the historic building. This is especially applicable on primary facades.

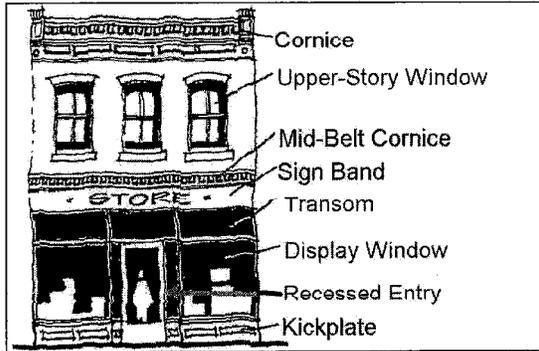


Figure 11-Some of the key features of a historic commercial building typically found in downtown.

(2) Design Standards.

(a) The size and shape of upper story windows shall be preserved.

(b) Transoms located above display windows shall be preserved.

(C) Architectural Details.

(1) *Intent.* Architectural details that establish a historic building's distinct visual character shall be preserved to the maximum extent feasible. If architectural details are damaged beyond repair, their replacement, matching the original detailing, is required.

(2) Design Standards.

(a) The original ornament and detail of the façade, where existing, shall be preserved. (Example: Figure 11)

(b) The kickplate that is found below the display window shall be preserved.

(D) Materials and Colors.

(1) *Intent.* Primary historic building materials shall be preserved in place to the

maximum extent feasible. When the material is damaged, then limited replacement, which matches the original, shall be made. Primary historic building materials shall never be covered or subjected to harsh cleaning treatments.

(2) Design Standards.

(a) Original building materials and architectural features shall be preserved in place to the maximum extent feasible.

Building materials and architectural features contribute significantly to the character of a historic structure. The distinct characteristics of the primary building material and features, including the scale of the material unit and its texture and finish, shall be preserved.

(b) Deteriorated building materials and architectural features shall be repaired rather than replaced, to the maximum extent feasible.

Original building materials or architectural features may be deteriorated. When deterioration occurs, repair of the material and any other related problems shall be performed.

(c) Original building materials and architectural features that have deteriorated beyond repair shall be replaced in kind.

Replacement shall occur only if the existing historic material cannot be reasonably repaired. In the event replacement is necessary, the new material shall match that being replaced in design, color, texture and other visual qualities.

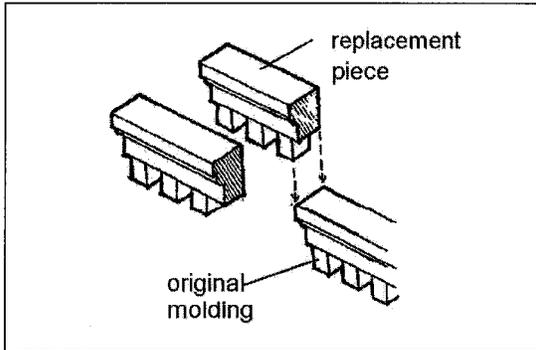


Figure 12-Original architectural features that have deteriorated beyond repair shall be replaced in kind.

(d) Synthetic or composite siding materials shall not be used to cover original building materials or features.



Figure 13-Synthetic siding materials should be removed to reveal original building materials or features to the maximum extent feasible.

(e) Traditional building elements shall be maintained in a manner that will preserve their integrity as character-defining features.

(f) Maintain the original size and shape of the storefront opening.

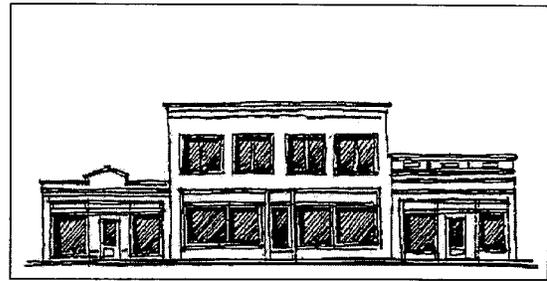


Figure 14-Maintain the original size and shape of the storefront opening.

(g) Maintain the storefront wall at the sidewalk edge for commercial storefront type buildings.

(h) Maintain recessed entries where they exist.

(i) Figures 15 through 20 are examples of buildings in the C-1 Commercial District of the Town of New Castle, which are to be followed and are incorporated as a part of this Ordinance for Design Standards.

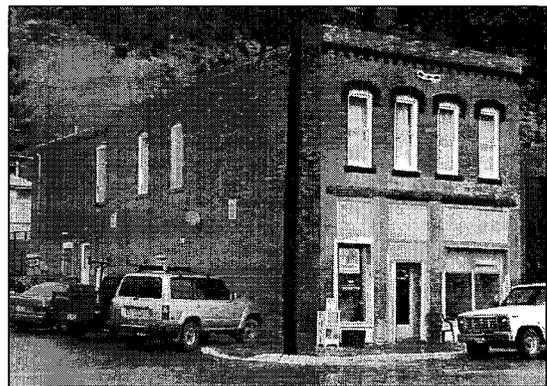


Figure 15--Two-story brick commercial flat-roofed bldg. Style: 19th century commercial (Italianate). Materials: Brick, Stone. Odd Fellows Hall: 1890; 500 West Main Street

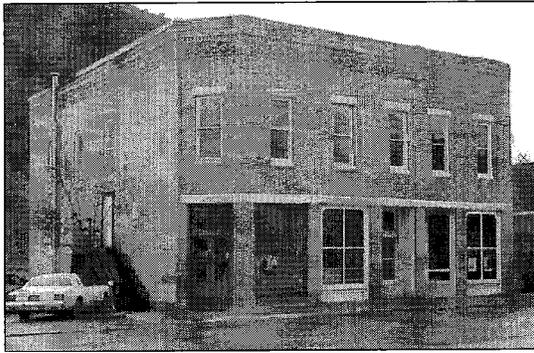


Figure 16—Two-story brick commercial flat-roofed corner building. Style: 19th century commercial. Materials: Brick, Stone, Wood. Trimble Building: 1890; 303 West Main Street

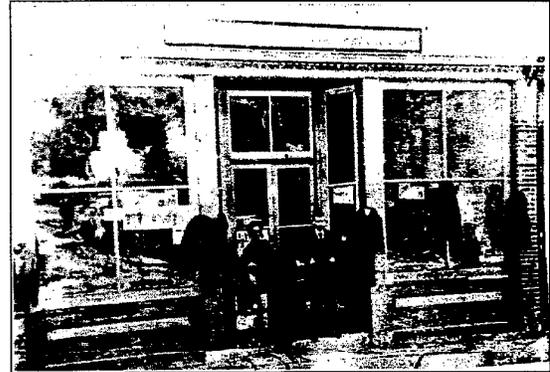


Figure 19—Recessed entry/door way Ritter & MacRae Dry Goods: 1890; 239 West Main Street

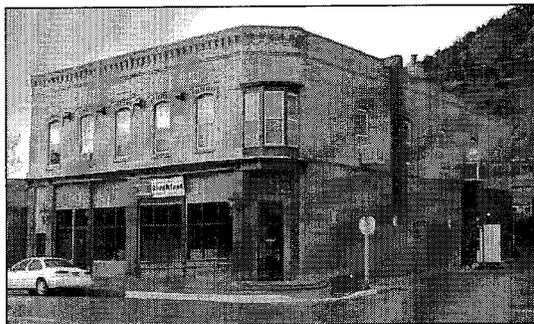


Figure 17—Two-story brick commercial flat-roofed corner bldg. Style: 19th century comm. (Italianate). Materials: Brick, Stone. Barry Block: 1893; 502 West Main Street



Figure 20—Canvas awning as historically used in the District. New Castle Cash Store: 1890; 500 West Main Street

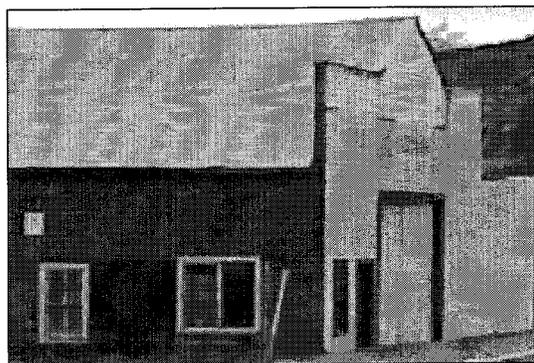


Figure 18—Wood frame, wood-sided, false front, gable-roofed commercial service building. Style: Vernacular wood frame, false front. Materials: Wood, Brick, Adobe. Livery Stable: 1890; 503 West Main Street

(j) Figures 21 through 23 are examples by photographs of existing buildings in the C-1 Commercial District of the Town of New Castle and other locations, which are considered as not in compliance with the standards for building renovation, remodel, or design and construction as set forth in this Ordinance for Design Standards.



Figure 21—Features not in compliance:

- *Mansard-type roof form*
- *Shingle siding*
- *Metal frame doors and windows*
- *Original siding or facing covered over*



Figure 22—Features not in compliance:

- *Metal frame doors and windows*
- *Recessed entry replaced with doors flush with front of building*



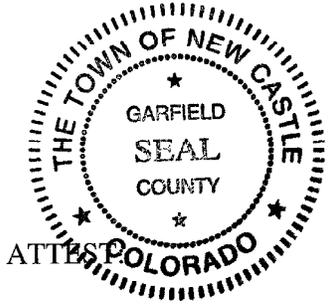
Figure 23—Features not in compliance:

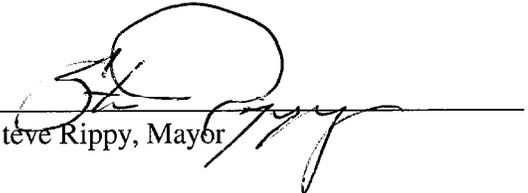
- *Metal frame doors and windows*
- *Transoms covered*
- *Upper-story windows covered*
- *Recessed entry replaced with doors flush with front of building*
- *Original siding and facing covered over*

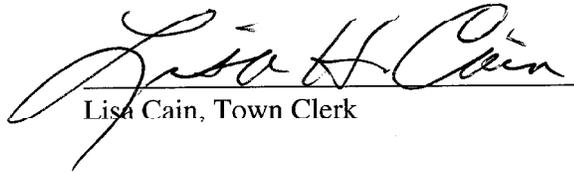
INTRODUCED on April 3, 2001, at which time copies were available to the Council and to those persons in attendance at the meeting, read by title, passed on first reading, and ordered published in full and posted in at least two public places within the town as required by the Charter.

INTRODUCED a second time at a regular meeting of the Council of the Town of New Castle, Colorado, on April 17, 2001, read by title and number, passed with ~~an~~ amendment, approved, and ordered published as required by the Charter.

TOWN OF NEW CASTLE, COLORADO



By: 
Steve Rippy, Mayor


Lisa Cain, Town Clerk

C. Review and make decisions on any application for alterations to a designated historic site, landmark or district;

D. Review and make decisions on any application for relocating or demolishing a designated historic landmark or any structure located within a designated site or district;

E. Advise and assist owners of historic properties on physical and financial aspects of preservation, renovation, rehabilitation, and reuse, including nomination to the National Register of Historic Places;

F. Remove properties from the register for reasons the commission deems appropriate, including, but not limited to, acts of God;

G. Develop and assist in public education programs including but not limited to walking tours, brochures, a marker program for historic properties, lectures, and conferences;

H. Cause to be issued by the appropriate town department such municipal citations as are appropriate for enforcement of this chapter;

I. Coordinate with and inform other town, local and state offices of proposed and completed efforts and actions of the commission;

J. Conduct preservation surveys and plans for the purpose of determining and defining areas of historic significance;

K. Advise the town council on matters related to preserving the historic character of the town;

L. Actively pursue financial assistance for preservation related programs and make recommendations regarding requests by owners for financial assistance. (Prior code § 15-06-070)

15.44.130 Rules and procedures for the commission.

The historic preservation commission shall conduct its proceedings in accordance

with the latest current edition of Robert's Rules of Order. In addition, the commission may establish additional rules of operation that are consistent with this chapter. (Prior code § 15-06-080)

15.44.140 Recordkeeping and staff assistance for the commission.

To the extent provided by the town council, the town administrator/clerk shall maintain the records of and provide administrative assistance to the commission, and shall serve as recording secretary. (Prior code § 15-06-090)

Article 4. Identification of Historic Resources and Properties

15.44.150 Study and review of resources.

The commission shall identify, within the means provided for such purposes, certain historic resources and properties as potentially worthy of appropriate study, review and potential designation. Recommendations from citizens of the town regarding historic resources shall be sought by the commission. The commission shall include in its initial study and review the areas of the town known as "Original Town," "Coryell Town," the "Spencer's Additions," the "Coryell Additions," the "Gordon Subdivision," and the "Smith Subdivision," and all revisions to each of them. (Prior code § 15-08-010)

15.44.160 Criteria for identification.

An area or property may be identified as a historic resource or property if it is declared to possess (or to potentially possess) any of the following qualities or characteristics:

A. Has existed for at least fifty (50) years prior to the date of identification;

B. Is associated with events that have made a significant contribution to the broad patterns of the town's history;

C. Is associated with the lives of persons significant in the town's past;

D. It embodies the distinctive characteristics of a type, period, or method of construction, is the work of a master builder, or possesses high artistic value;

E. It has yielded, or may be likely to yield, information important in prehistory or history;

F. It exemplifies the cultural, economic, social, or historic heritage of the town;

G. Has relationship to other distinctive areas that are eligible for preservation according to a plan based on a historic, cultural, or architectural motif;

H. Unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood, community, or the town. (Prior code § 15-08-020)

(Ord. No. 2009-12, § 2, 11-17-2009)

Article 5. Designation Procedure

15.44.170 Initiation of procedure.

Whenever in the opinion of the historic preservation commission, whether based upon its own motion or upon its motion following receipt of a factually supported written recommendation presented by any citizen of the town, the planning and zoning commission, or the town council, any site, area, neighborhood, structure, object or property meets the criteria of a historic site, landmark or district, the commission shall contact the owner or owners of such property outlining the reasons and effects of designation and shall attempt to secure the owner's consent to such designation. If the commission is unable to personally contact such owner, it shall be sufficient for the town clerk to send a written request for the

consent to designation of such property by certified mail, return receipt requested, addressed to the owner of the property as shown on the most recent records of the county assessor at the address shown on such records. Individual properties may be designated as a historic site, landmark or district, only with and by written consent of all of the property owners. (Prior code § 15-10-010)

15.44.180 Commission review with owner's consent.

If the owner consents in writing to the proposed designation of the property as a historic site, landmark or district, the commission, upon the affirmative vote of a majority of the members present, may adopt an order scheduling a public hearing by the commission on the question of designation, hereinafter called a designation hearing, at a specified time, date and place and directing that the notice of hearing be given as described in Section 15.44.190.

All applications submitted in accordance with this article shall include a description of the property proposed for designation and a detailed outline of the reasons why such property should be designated and why the boundaries of the designation should be determined as described in the application.

No motion or application for designation of a specific historic site, landmark or district may be made more than once during any six consecutive months, unless ownership changes. (Prior code § 15-10-020)

15.44.190 Notice of hearing.

Notice of a designation hearing shall be given as follows:

A. Written notice of the time, date, place and subject of the hearing shall be sent by registered or certified mail, return receipt re-

requested, not less than thirty (30) days prior to the hearing to all owners of record, as are found in the records of the county assessor on the date of the application, who own the real property being proposed for designation as a historic site or historic district, and to the owners of real properties within one hundred (100) feet of the property being proposed for designation. Such notice shall be deemed delivered upon the passage of five days from the deposit of the notice in the U.S. mail system.

B. A legal notice indicating the nature of the hearings, the property involved and the time, date and place of the hearing, shall be published in a local newspaper of general circulation one time at least fifteen (15) days prior to the hearing.

C. Written notice of the proposed historic designation, including the identification of the property, the basis for commencing with the designation procedure and the time, date, and place of the hearing, may be given to any other individual, office or agency as deemed appropriate by the commission, for information, comments and recommendations prior to the hearing. (Prior code § 15-10-030)

15.44.200 Interim status—Permit review.

Any application which has been submitted to the town building department, on or after the date of a motion passed by the commission pursuant to Section 15.44.170, for a building permit for alteration, construction, relocation or demolition of a site or landmark under consideration for historic designation or any site, landmark, structure or object within any proposed district under consideration for historic district designation shall be deferred from issuance until final disposition by the commission of the historic designation application unless such alteration, construction,

relocation or demolition is deemed necessary under Section 15.44.340 for the public health, welfare or safety. The delay in issuance of a building permit due to the provisions of this section shall not be for more than sixty (60) days. (Prior code § 15-10-040)

15.44.210 Hearing.

A. At least four members of the historic preservation commission shall conduct the hearing. If at least four members are not present the members present may adjourn the meeting to another date within two weeks. If any hearing is continued, the time, date and place of the continuation shall be established and announced to those present when the current session is to be adjourned. Such information shall be promptly forwarded, by regular mail, to the owners of record as established and addressed pursuant to Section 15.44.190.

B. Reasonable opportunity shall be provided for all interested parties to express their opinions regarding the proposed designation. However, nothing contained herein shall be construed to prevent the historic preservation commission from establishing reasonable rules to govern the proceedings of the hearings or from establishing reasonable limits on the length of individual presentations. The hearings shall be recorded, minutes written by staff, and provided to each member of the historic preservation commission. Written presentations shall be included in the record of the hearing. (Prior code § 15-10-050)

15.44.220 Findings, conclusions and decisions of the commission.

The historic preservation commission shall act officially on each proposed designation within twenty-five (25) working days of the conclusion of the hearing. The commission may approve, reject or approve modifications

to any proposal. No decision may deny the owner a reasonable use of his or her property as otherwise allowed by applicable law.

If more than one property is involved in the designation procedure, the historic preservation commission may approve in part and deny in part. Each part shall then be treated as a separate action. In no event may any property be added to the area described in the initial application without instituting a new designation procedure. The findings, conclusions and decision of the commission regarding a designation shall be in the form of a written resolution and shall be final and may not be appealed.

The commission shall set forth in its records the findings of fact and conclusions that constitute the basis for its decision. Each such designating resolution shall include a description of the characteristics or features of the site, landmark or district that should be preserved, and shall include a legal description of the location and boundaries of the site, landmark or district. The property included in any such designation shall be subject to the controls and standards as set forth herein and shall be eligible for such incentive programs as may be developed by the commission. If the commission fails to act within the twenty-five (25) day period, the designation shall be deemed to have been rejected and the designation procedure of the commission shall thereby be terminated. (Prior code § 15-10-060)

15.44.230 Transmittal to town council.

Within fifteen (15) days after reaching its decision, the historic preservation commission shall transmit to the town council and the owner of the property for information purposes only, its findings, conclusions and written resolution setting forth its decision on the

designation of a historic site, landmark or district, including the description of the property involved and the findings upon which the resolution was based. The decision shall be effective upon transmittal by the commission to the council. (Prior code § 15-10-070)

15.44.240 Filing with town clerk.

Within fifteen (15) days of the effective date of a resolution designating property as a historic site, landmark or district, it shall be entered by the town clerk into the official records of the town and into the real estate records of the Garfield County clerk and recorder as either:

A. A certified copy of the resolution designating the specified property as a historic site, landmark or district; and listing the individual properties included therein;

B. A notice stating that the specified property has been designated as a historic site, landmark or district and citing the historic preservation commission's resolution and the effective date thereof. The notice may also contain a brief summary of the effects of such designation as set forth in this chapter. (Prior code § 15-10-080)

15.44.250 Final notification to owner.

Within ten (10) days after the recording of the resolution designating property as a historic site, landmark or district, the town administrator/clerk shall send to the owner of each property so designated by registered or certified mail a letter outlining the reasons for such designation and the obligations and restrictions created by such designation. Such letter shall also contain a request that the owner or his or her successors or assigns notify the town administrator/clerk prior to:

A. Preparation of plans for the reconstruction or alteration of the exterior of improvements located on such property;

B. Preparation of plans for the construction, alteration, relocation or demolition of improvements on such property. (Prior code § 15-10-090)

15.44.260 Register of designated historic sites, landmarks and districts established.

The commission shall establish and maintain an official register of historic sites, landmarks and districts designated by the commission as worthy of preservation or restoration pursuant to this article. Such register shall include the location, owner, description and historic significance of the resource. Such register may have information added, corrected, revised or deleted from time to time as shall be determined by the commission. (Prior code § 15-10-100)

15.44.270 Amendment or rescission of designation.

A historic site, landmark or district designation may be amended or rescinded in the same manner as the original designation was made with owner(s) consent. (Prior code § 15-10-110)

15.44.280 Additional staff and assistance.

As may be provided by the town council, the commission and the town council may obtain assistance of competent technical experts in areas necessary to render decisions. The town may require applicants to defray portions or all of the costs for such assistance. (Prior code § 15-10-120)

Article 6. Construction, Alteration, Demolition and Relocation of or Within a Designated Historic Site, Landmark or District

15.44.290 Work requiring building permit.

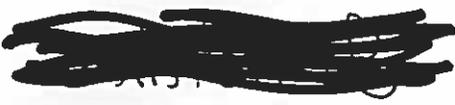
A. Action on an application for a building permit, as additionally provided for in other codes of the town, including any permit for the demolition of a building shall be deferred by the building inspector, except as provided in Section 15.44.340, until the application is accompanied by a certificate of approval from the historic preservation commission for the proposed work when the proposed work involves any of the following:

1. Alteration or reconstruction of or addition to the exterior of any improvement which constitutes all or part of a historic site or landmark;

2. Demolition or relocation of any improvement or object which constitutes all or part of a historic site or landmark;

3. Construction or installation of or addition to any improvement upon any land included on a historic site or landmark.

B. In order to obtain a certificate of approval, the applicant shall submit to the commission through the building inspector, the application for a building permit including sketches, plans and other requirements as determined by the commission, for review. All such applications shall be reviewed by the commission to determine compliance with this chapter as prescribed in the following sections. (Prior code § 15-12-010)



Comprehensive Reconnaissance Survey

OAHP has introduced (as of Summer 2012) a new standard survey project type labeled comprehensive reconnaissance survey. The format focuses on a geographic area and includes 90% of resources recorded on reconnaissance survey forms, 10% recorded on intensive forms, and completion of a survey report.

- Often called "windshield surveys" because much of the reconnaissance information can be gathered from the driver's seat of a car.
- OAHP recently released a new survey form designed for reconnaissance survey. This form is the recommended standard for recording 90% of resources within a comprehensive reconnaissance survey area. The new survey form:
 - Is an efficient means of evaluating architectural significance.
 - Can be used as a way to gather information to determine boundaries and contributing/non-contributing counts for certain historic districts.
 - Is an efficient way to complete county-wide or city-wide survey to assist in local preservation planning efforts.
 - Can be used to update older surveys or districts which no longer accurately reflect resources and conditions in an area.
 - Can be completed by trained volunteers, students, or qualified professionals.

Selective Intensive Survey

Intensive surveys give comprehensive views of individual resources. They are ideal for determining individual eligibility to the State or National Register, investigating historic themes, and can provide a wealth of information that can be used in interpretive materials.

- The Architectural Inventory Form (#1403) is most often used for SHF funded intensive survey.
- OAHP recommends that intensive surveys be selective. A selective survey will only look at a certain few resources within an area.
- Can focus on the resources in your community that seem to be the most likely candidates for individual listing on the National or State Register.
- Best for thematic surveys, which look in-depth at a scattered set of resources related by a common theme (mining, agriculture, civil rights).
- Required for evaluating significance in areas other than architecture (such as association with significant events or persons).
- Can be completed by qualified professionals, and could involve some participation of trained volunteers or students.

TYPES OF GRANTS

Grant program	Type	Purpose	Maximum Award	Application Deadline	Historic Designation Requirement	Cash Match Requirement	Announcement Date
Non-Competitive Grants	Historic Structure Assessment	Preparing a report of the physical condition of a historic building or structure in accordance with a mandatory State Historical Fund assessment outline.	\$10,000 (if justified, an additional \$5,000 may be available to hire specialized consultants and \$5,000 is available for an Economic Feasibility Study)	None	If property is not designated, must be moving toward designation, which means that Form 1416 should be submitted to the Office of Archaeology and Historic Preservation.	None for properties owned by eligible applicants, except private and for-profit owners who should provide at least 50% cash match unless the intent is for purchase of the building by an eligible applicant.	Typically within one month of SHF receiving completed application
	Archaeological Assessment	Collecting and evaluating archaeological information from a specific site or area in order to create a plan for preservation or additional work.	\$10,000 (if justified, an additional \$5,000 may be available to hire specialized consultants.)	None	None	None, but private and for-profit business owners should provide a cash match if possible	Typically within one month of SHF receiving completed application
	Emergency Grant	Providing assistance to significant resources that are in imminent danger of being lost, demolished, or seriously damaged when such threat is sudden and unexpected such as fire, flood, hail storm, or other act of nature and not deferred maintenance.	\$10,000	None; however, contact SHF staff as soon as possible after the emergency occurs	One of the following designations is required prior to contact: <ul style="list-style-type: none"> Local landmarking State or National Register of Historic Places 	None for properties owned by eligible applicants, except private and for-profit owners who should provide at least 50% cash match	Typically within two weeks of SHF receiving completed application
Competitive Grants	Acquisition and Development	Excavation, stabilization, restoration, rehabilitation, reconstruction, or acquisition of a property or site.	Awards up to \$200,000	April 1 and October 1	One of the following designations is required: <ul style="list-style-type: none"> Local landmarking State or National Register of Historic Places 	25% of project total for properties owned by eligible applicants 50% of project total for properties owned by private individuals and for-profit businesses	Requests \$35,000 or less June 1 and December 1 Requests over \$35,000 August 1 & February 1
	Education Projects	Providing information about historic sites or historic preservation to the public through interpretation projects, curriculum development, public outreach projects, or other educational opportunities which pertain to the site(s).	Awards up to \$200,000	April 1 and October 1	None, but if properties, sites, districts, structures, or objects are the focus of the project, they should have historical significance.	25% of project total for properties owned by eligible applicants 50% of project total for properties owned by private individuals and for-profit businesses	Requests \$35,000 or less June 1 and December 1 Requests over \$35,000 August 1 & February 1
	Survey and Planning	Identification, documentation, evaluation, designation, and planning for the protection of significant historic buildings, structures, sites, and districts.	Awards up to \$200,000	April 1 and October 1	Construction documents require proof of local, state, or national designation.	25% of project total for properties owned by eligible applicants; 50% of project total for properties owned by private individuals and for-profit businesses	Requests \$35,000 or less June 1 and December 1 Requests over \$35,000 August 1 & February 1